



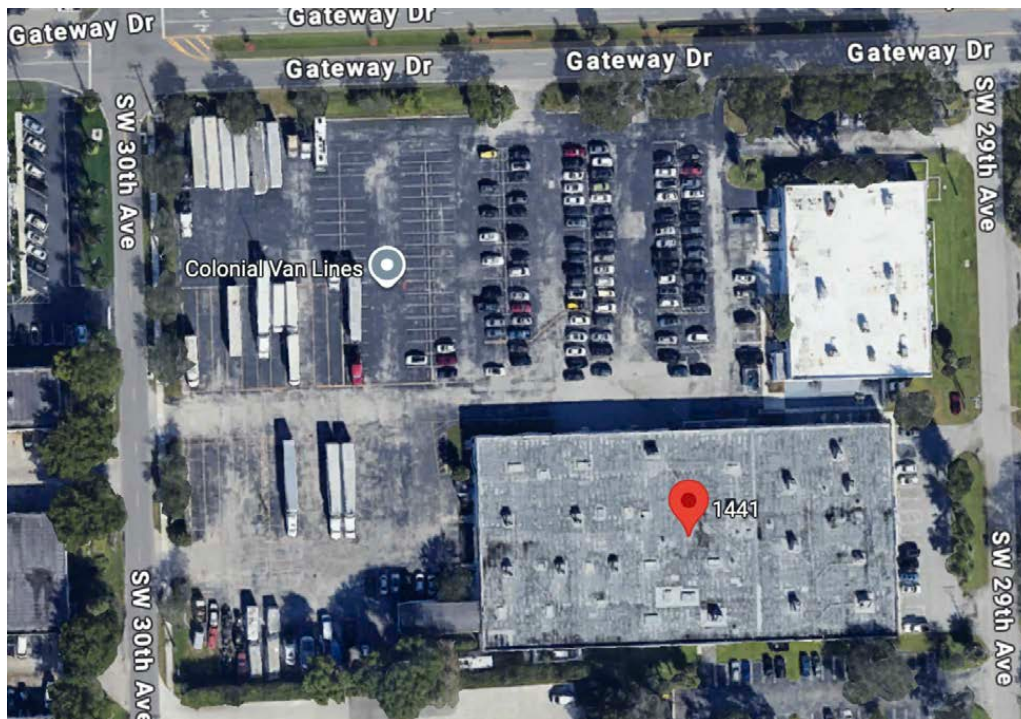
ATLAS SAFETY &amp; SECURITY DESIGN, INC.

May 15, 2026

Aldo Disorda  
Colonial Van Lines  
1441 SW 29<sup>th</sup> Avenue  
Pompano Beach, FL 33069

RE: Colonial Van Lines Warehouse Facility CPTED Public Safety Plan

I have been contracted to review the design drawings for security and Crime Prevention Through Environmental Design (CPTED) features in the proposed *Colonial Van Lines* warehouse facility, located at 1441 SW 29<sup>th</sup> Avenue and 2900 Gateway Drive, Pompano Beach, FL project, that is being considered for permitting by the City of Pompano Beach. *Colonial Van Lines* is a leading provider a national, full-service moving company specializing in long-distance, interstate, and cross-country residential and commercial relocations within the contiguous U.S. They provide comprehensive services including professional packing, furniture disassembly and reassembly, storage, and vehicle transport. The warehouse project will also include required landscaping, site lighting, and truck loading and unloading spaces.



The *Colonial Van Lines* warehouse facility upgrade, is being placed on an existing piece of real estate in a general and light industrial I-1 zoned area. The project is planned for a total gross footage of 254,210 square feet, on the site.

**CONSULTANT'S DECLARATION**

1441 SW 29th Ave. is in compliance with all recognized CPTED best industry practices. All applicable CPTED Principles Standards are in full compliance: Natural Surveillance, Territorial Reinforcement, Access Control, Order Management, Physical Maintenance and Legitimate CPTED Activity Support.

CPTED principles, approaches, and strategies have been successfully applied to this multi-family residential development and highlighted in this CPTED Assessment. The property and the dwellings have been reviewed to identify and incorporate CPTED design features, which reduces opportunities for criminal activity to occur.”

**CPTED EFFECTIVENESS PREMISE**

CPTED principles, approaches, and strategies have been successfully applied to this parking lot development and highlighted in this CPTED Assessment. The property has been reviewed to identify and incorporate CPTED design features, which reduces opportunities for criminal activity to occur. The effectiveness of CPTED is based on the premise that criminals make rational choices about their potential targets based on location, convenience, and reward. Through the effective use of CPTED principles and strategies, the built environment can be designed and managed to ensure:

- (1) The greater the risk and likelihood of illegitimate users being seen, challenged, or caught; therefore, they are less likely to commit a crime at this location.
- (2) The greater the effort required the less likely opportunistic criminals are to commit a crime at this property.
- (3) The lesser the actual or perceived rewards, the less likely persons are to commit a crime at this property.
- (4) Opportunities for criminal activity are minimized by good design, active management, and empowered employees.

**RISK ASSESSMENT PROCESS AND PRINCIPLES**

This CPTED risk assessment includes a thorough review of the plans and specifications, and evaluating each area using the metrics of the basic CPTED approaches and strategies. The consultant shall provide an assessment, and make recommendations (items for consideration) based on the overall building environment. Basic CPTED approaches include, but are not limited to, the following:

# CRIME PREVENTION THROUGH ENVIRONMENTAL DESIGN (CPTED)

We believe that there is no single strategy to crime prevention, that a multifaceted, evolving approach is needed from the planning stages of a project and continued into the day-to-day operations of the property. With that in mind, we designed the LIMELIGHT plan incorporating Crime Prevention Through Environmental Design (CPTED) best practices and knowing that this will be an ongoing, ever changing plan for the life of this community. Our primary goal is to create a property where people feel safe, are well connected, and are proud of the place they call HOME.

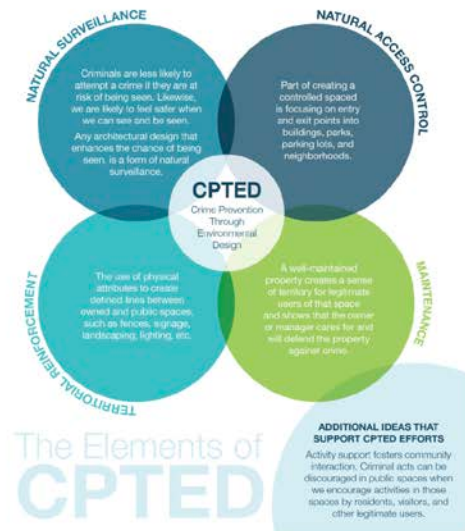
The basic design approach to CPTED starts with our development team, site planners and individual architects designing our buildings to integrate and combine security concepts, architectural elements, and security technologies into a balanced holistic solution. The Team has included CPTED functional criteria in the site planning, architectural design, landscape design, lighting plan, and more with the four pillars below in mind.

#### The Four Primary Principles of CPTED:

- Natural surveillance
- Natural access control
- Territorial reinforcement
- Maintenance and management

In addition, we will enact policies and procedures within our management plan that include strategies, beyond design, that promote community action and law enforcement communication to successfully achieve and ensure ongoing success of crime prevention. Some of these strategies we feel are important are: building relationships with local law enforcement officers and community leaders, implementing a courtesy officer program and having strict community maintenance standards that includes lighting checks, graffiti control and general cleanliness. We believe that a monthly reevaluation of the Management Plan to address any issues that arise is imperative for ongoing excellence in this area.

While we acknowledge all of the above actions are important, we believe the key to safety within a community starts with the residents. A happy, healthy, active resident that is in touch with his/her community is the best deterrent to crime.



1. Natural, Mechanical, Organized Surveillance – The placement of physical features that maximize and facilitate visibility by the legitimate building users, and encourage positive legal legitimate social interaction or activity. *Natural* Surveillance allows for clear sightlines, including the use of effective lighting at night. This can be achieved by examining the surveillance features of the physical structure of the apartment buildings, common area spaces, parking lots and the surrounding grounds, including shrubbery, lighting, (*mechanical*) video surveillance systems, window placement, door peepholes, perimeter fencing, and other types of physical and architectural design features. *Organized* surveillance comprises of capable guardians, which include private security guards, off duty police, and facility staff and property management observing the property and regularly walking the grounds.

2. Natural and Mechanical Access Control – The use of design features to clearly define where people and vehicles enter and leave the site. Features include well-marked entrances and exits, landscaping plantings and sidewalk paths to guide people, and direct the desired flow of people. Access control uses real and symbolic barriers to reduce availability to unsupervised locations on the facility. Defining space creates a sense of ownership, and provides cues about who belongs on the property, and how the space should be used, Examples of *natural* access control are fences, walls, sidewalks, gates, and landscaping. *Mechanical* access controls can be used to determine and control the foot and vehicle traffic with security technologies. Mechanical access control strategies include door locks, gates, access control cards and readers, visitor and vehicle screening and badging.

Territorial Reinforcement – Territoriality evaluates the public and private areas for clear delineations of space, expressions of pride or ownership, and the creation of a welcoming environment, through security layering. Territoriality creates both a real and perceived barrier to your property, and determines the need to create or extend the “sphere of influence,” with the use of physical designs, landscaping, and ability to clearly distinguish public areas from private ones. Territoriality creates a sense of community, and promotes ownership with the employees. Examples are the use of landscaping, pavement, color, texture, signage, fencing, and gates to distinguish a barrier between your property and public real estate property. Territorial reinforcement encourages and enables Defensible Space to value and protect the property that is deemed important and of value to the employees. This may include common area spaces, trails, parking areas, and sitting areas.

4. Order Management – Property management plays a critical role in creating, promoting, and allowing a safe and secure living environment. CPTED considers staff’s responsiveness to monitor unacceptable acts or incivilities, and the ability to provide operational recommendations that can be implemented that clearly state resident acceptable behaviors, and operational objectives. Management plays a strong role in the screening of employees with background checks, leasing agreements, and directing physical plant improvements in a timely manner.

5. Physical Maintenance – Assessing the repair and general upkeep of a defined space is very important in creating and sustaining a safe living environment. Recommendations for incorporating CPTED into the existing maintenance plan will help preserve property value, and make the property a safer place for the legitimate employees. For example, maintenance addresses graffiti, lighting, upkeep of windows and doors, fixing potholes, upkeep of stairways, maintaining the plantings and yard grooming, and making sure equipment is in working order. Maintenance is showing pride of ownership and good maintenance encourages people to use the space for intended purposes (legitimate activity support). It has been shown that when a property is taken care of, people will treat it with respect.

6. Legitimate activity support – Having the provided spaces used as lawfully intended, by legitimate building users. Common area spaces are a good example of providing intended spaces for employee activities such as break rooms, smoke area, sitting areas. These spaces are designed and desired to be used by employees, and deflect and deter outsiders, trespassers, or persons using these spaces for illegitimate or illegal purposes.

## **CPTED PRINCIPLES – Considerations and Compliance**

The subject property should take into consideration, and be compliant with the CPTED standards of care and best practices for natural surveillance, natural access control, territorial reinforcement, maintenance, management, and legitimate activity support. This

Report reflects a systematic examination of the *Colonial Van* warehouse facility located at 1441 SW 29<sup>th</sup> Avenue and 2900 Gateway Drive, to determine the adequacy of security measures, identify security issues that are problematic and need consideration, and provide feedback from which to predict the effectiveness of proposed security measures.

CPTED is part of the City of Pompano Beach Zoning Code Section 155.2415.D, which requires that new infrastructure be designed with security features that lower the risk and probability of crime and loss. The facility design elements should take into consideration and be consistent with the CPTED standards of care for natural surveillance, natural access control, territorial reinforcement, maintenance and management, and legitimate activity support.

The following review is part of the required submission to have CPTED security drawing plan, and a security narrative, explaining the specifications and locations of any specific security features, or recommendations.

### CRIME RISK ANALYSIS

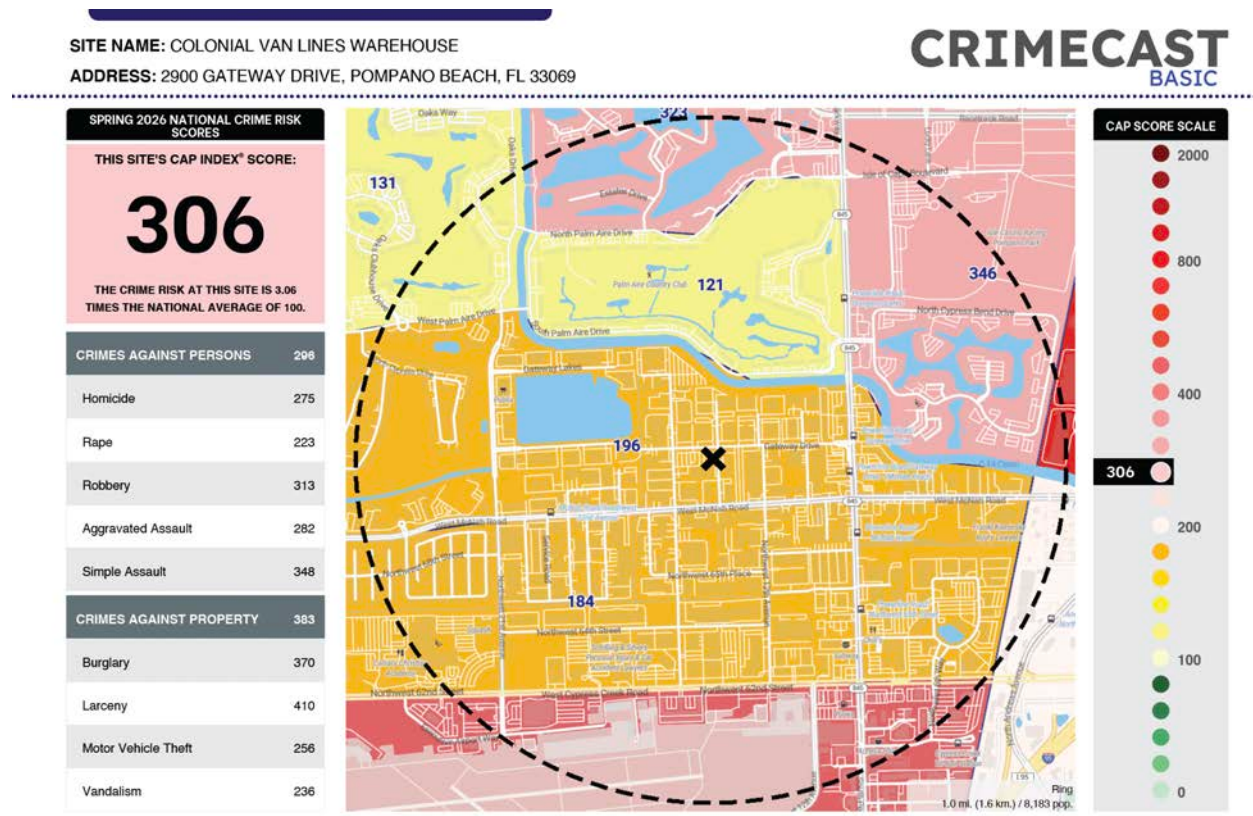
In order to get a better understanding on the overall crime risk factor of the proposed development area, ASSD undertook a CAP (Crime Area Profile) Index analysis. This tool looks at the crime statistics from 2010 to 2020 in a one-mile radius around the proposed site. CAP Index's CRIMECAST™ products are derived from an advanced evaluation system designed to accurately identify the risk of personal and property crimes at any location in the United States, Canada and the United Kingdom. CRIMECAST™ reports assist CAP's clients with ranking and comparing multiple locations, site selection, security resource allocation, litigation, and underwriting.

There are approximately 65,322 census tracts in the U.S. Each tract contains approximately 4,562 residents, with similar socio-economic backgrounds. CAP scores each tract alone to determine its risk of crime. Tracts receive a numeric score and coinciding risk shading. State scores compare the site to the average risk of the state in which it resides. County scores compare the site to the average risk of the County in which it resides. Past, Current and Projected crime scores are provided to allow for trending. National scores provide the risk at the site compared to the entire U.S., allowing for the ranking and comparison to any other sites. All scores are based on a scale of 0 to 2000, with 0 representing the lowest risk, and 2000 the highest – 100 is par or average. As an example, a score of 500 is 5 times higher than average, and a score of 25 means the risk is 1/4 the average.

In review of this location for a warehouse facility, a Crime Area Profile Risk Analysis (CAP Risk) Crime Cast Map has been pulled for the one-mile geographical area where project is being undertaken. Par for the CrimeCast CAP Risk is **100**, a risk factor that reflects a stable neighborhood, with no immediate threat by surrounding neighborhood crime source. The CAP Index score for *1441 SW 29th Ave.* is **306**, which translates that the risk of crime in the mile radius around the property is approximately **3** times greater,

than other areas in the United States. A **306** score is considered a moderate level of risk for crime. The Broward County CAP score for this location is **220**, or **2 1/5** times greater risk for crime than the rest of the county. The number is projected to be the same over the next five years to **220**.

The area around the site is industrial, commercial and residential property, and is in an industrial neighborhood. Comparing our South Florida crime rates to the national average is always somewhat skewed. When you compare the numbers, and risk level, to what else is happening in *Broward County*, the numbers of the proposed site is slightly higher. The overall CAP Index relative of *warehouse facility at 1441 SW 29th Ave.* to Broward County is **220**, or over **2 times greater** than other areas of the county. **Crimes against persons** in context to Broward County crime is a CAP index of **221**, or a little over **2 times greater** than other parts of the Broward County, and **crimes against property** is **247** or **2 1/2 times greater** than other parts of the county. The greatest risks of crimes revealed in the Crimecast Report are of **Homicide/murder at 293 or 3 times greater** than other areas of the county, and **robbery at 275 or 2 3/4 times greater**, and **aggravated assault at 194 or 2 times greater** than other areas of the county. **Motor vehicle theft is 210 or 2 times greater** than other areas of the county.



## MAX-1 SCORE SUMMARY

SITE NAME: COLONIAL VAN LINES WAREHOUSE

ADDRESS: 2900 GATEWAY DRIVE, POMPANO BEACH, FL 33069

CRIMECAST  
BASIC

The Score Summary includes a total of 108 risk scores—12 for each of 3 geographic levels and 3 time periods. The scores provide the site's risk in comparison to national, state, or county averages. All scores are compared to the average of 100 on a scale of 0–2000.

| GEOGRAPHIC LEVEL        | UNITED STATES |              |                | FLORIDA   |              |                | BROWARD COUNTY |              |                |
|-------------------------|---------------|--------------|----------------|-----------|--------------|----------------|----------------|--------------|----------------|
| Spring Release          | PAST 2020     | CURRENT 2026 | PROJECTED 2031 | PAST 2020 | CURRENT 2026 | PROJECTED 2031 | PAST 2020      | CURRENT 2026 | PROJECTED 2031 |
| CAP Index® Score        | 324           | 306          | 310            | 356       | 340          | 341            | 233            | 220          | 220            |
| CRIMES AGAINST PERSONS  | 314           | 296          | 299            | 353       | 336          | 336            | 234            | 221          | 220            |
| Homicide                | 266           | 275          | 281            | 475       | 500          | 502            | 286            | 293          | 293            |
| Rape                    | 228           | 223          | 231            | 340       | 328          | 335            | 256            | 251          | 251            |
| Robbery                 | 337           | 313          | 312            | 518       | 489          | 488            | 298            | 275          | 271            |
| Aggravated Assault      | 295           | 282          | 282            | 298       | 285          | 282            | 205            | 194          | 194            |
| Simple Assault          | 361           | 348          | 346            | 260       | 247          | 245            | 198            | 189          | 187            |
| CRIMES AGAINST PROPERTY | 405           | 383          | 387            | 372       | 351          | 349            | 263            | 247          | 246            |
| Burglary                | 391           | 370          | 381            | 407       | 389          | 397            | 292            | 274          | 278            |
| Larceny                 | 431           | 410          | 401            | 350       | 333          | 323            | 255            | 238          | 232            |
| Motor Vehicle Theft     | 269           | 256          | 266            | 349       | 332          | 345            | 220            | 210          | 216            |
| Vandalism               | 246           | 236          | 241            | 315       | 303          | 305            | 228            | 219          | 219            |



Creation Date: April 29, 2026  
Release: Spring 2026

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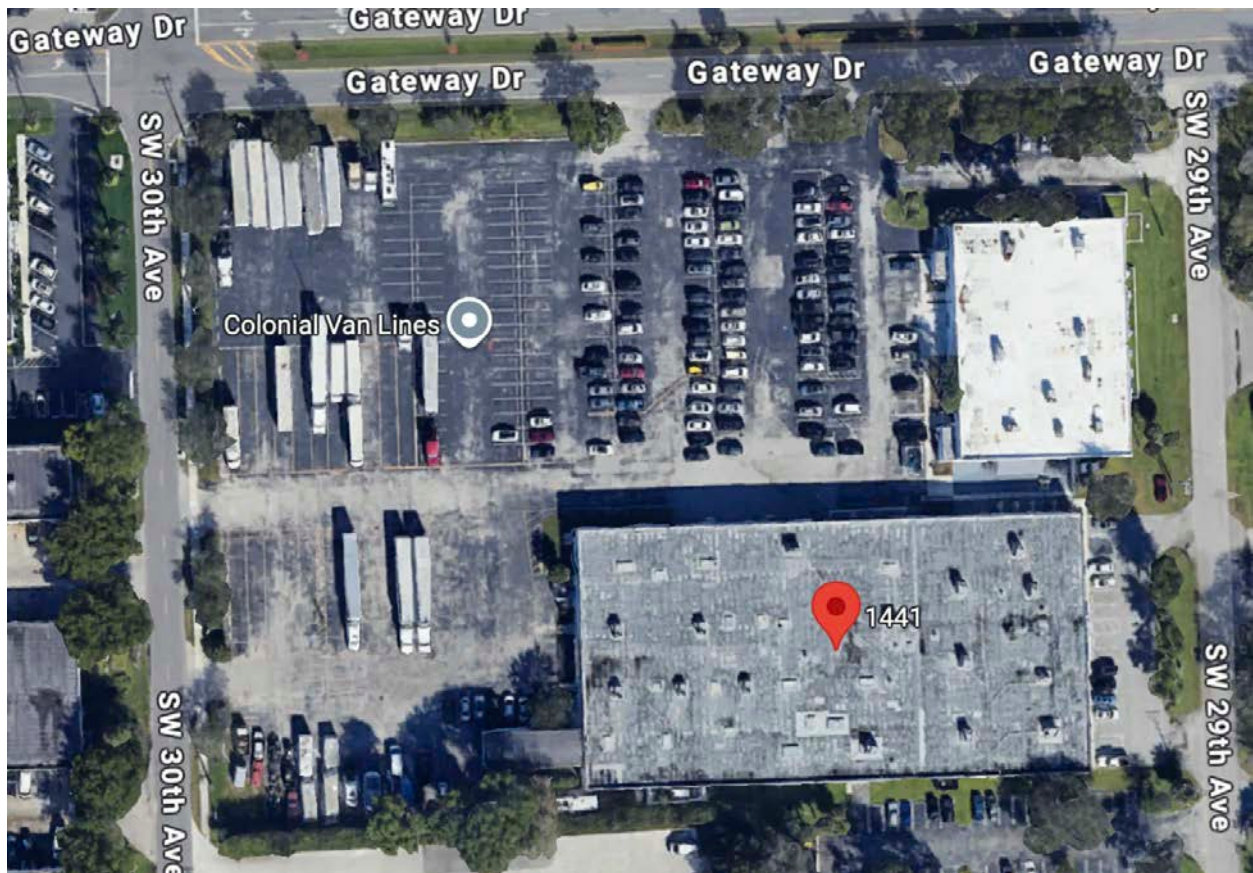
The CAP Risk CrimeCast report is designed to identify the risk of personal and property crimes at any location in the United States, derived from national and local police data, client loss reports, offender and victim surveys, economic data, housing and population data, and population mobility patterns. While, any location in South Florida is considered a higher risk than most of the United States, and the State of Florida, the number does suggest that the threat and vulnerability of the risk of theft, car theft, robbery, assault, is high enough to warrant extraordinary security features, and should plan for normal industry standard security and CPTED features. Nevertheless, the warehouse facility may be a critical infrastructure high-asset target facility, and should incorporate industry standard security features.

With such close proximity to opportunistic type crime areas, combined with the attractive magnet of parked truck vehicles, their equipment and cargo, these conditions reinforce the fact that this property is going to require the directed application of CPTED and security strengthening design considerations to mitigate and deter the existing and potential crime risk vulnerabilities. In conclusion, the risk of crime in the development area is moderately high compared to the rest of Broward County. Combined with its proximity to adjoining crime areas, the project is at a higher overall risk for attracting criminals. As a result, strong perimeter protection, access control for all vehicles, good lighting and video surveillance supports using all reasonable security measures to

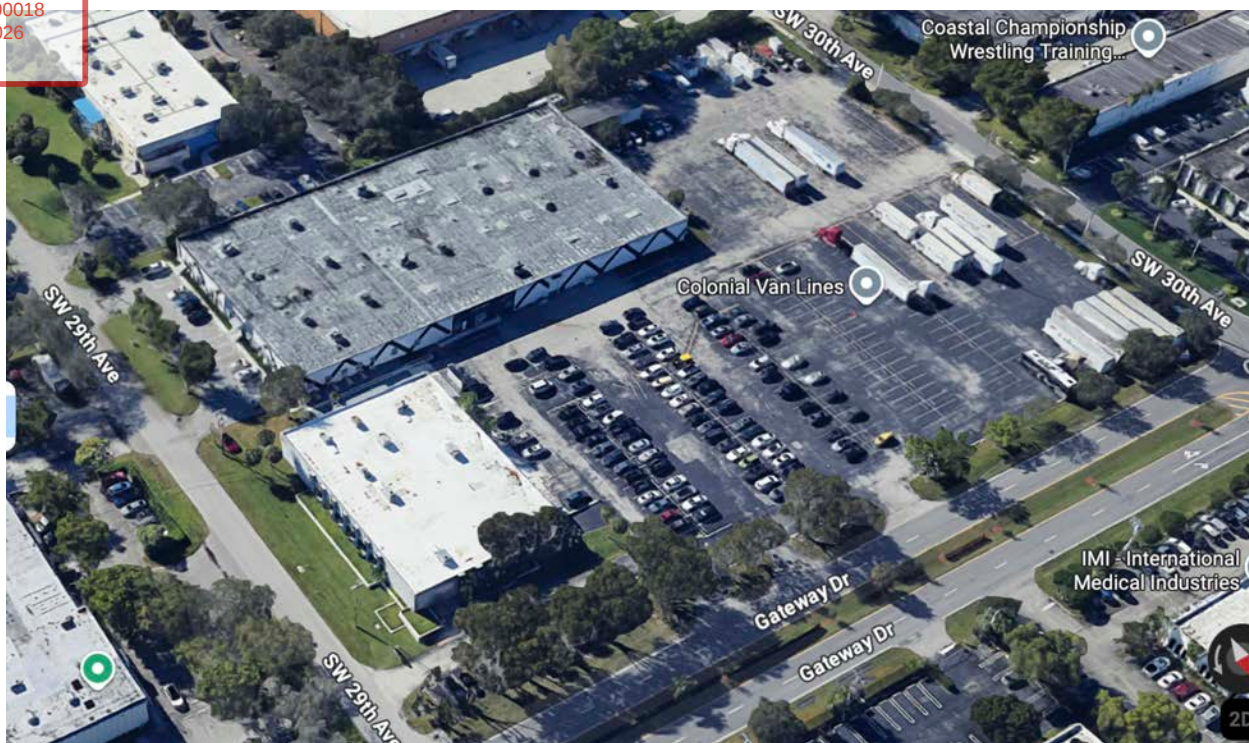
successfully achieve a safer and more secure parking environment at the 1441 SW 29th Ave. development, and that complies with CPTED best practices and standards of care.

### Existing Site Conditions:

The typical threats that industrial facilities face is robbery, vehicle burglary, theft, loitering in and around the site, fire, and vandalism. As with all industrial facilities, the facility perimeter is relatively open to anyone who desires to come onto the property and gain access to the warehouse goods and assets. Therefore, to limit the exposure and minimize the risk, basic CPTED concepts and strategies of access control, surveillance, territoriality, maintenance and management, and legitimate activity support will be employed to deflect and deter those individuals, that come onto the property with criminal intentions.



The warehouse site is used presently as a storage facility and vehicle yard for the Colonial Van Lines.



The expansion of the buildings will take over the parking lots.



A street view from SW 29<sup>th</sup> Avenue.



A street view from Gateway Dr.



A street view from Gateway Dr.



A street view from 30<sup>th</sup> Ave.



A street view from SW 29<sup>th</sup> Ave.

In summary, the existing site is an existing piece real estate, with the parking lots ready for a new development and expansion of the existing buildings, that will come with all new plantings and landscaping design, as well as new vehicular accessibility, exterior lighting, perimeter boundary definition, and secure utilities connections.

### **Proposed Security and CPTED Considerations and Improvements:**

The site plan shows good territoriality and boundary definition features, site access control, warning and ground rules signage, site video surveillance, LED site lighting, which will help to provide for a safe, and secure industrial warehouse environment for at *1441 SW 29th Ave.* The site plan above shows entrances off of SW 29<sup>th</sup> Ave. and SW 30<sup>th</sup> Ave. Entrance signage will be placed there, and funnel the trucks to dock, and load or unload their goods.

### **CPTED and Building Security considerations:**

#### **CPTED PRINCIPLE #1 NATURAL / MECHANICAL/ ORGANIZED SURVEILLANCE**

**Natural surveillance** - There is a clear and unobstructed view of the warehouse facility on all four sides. Staff and video surveillance can observe visitors and vehicles entering from the street onto their property. Security Cameras are recommended to fully view the site entrances, and truck loading work areas and staff parking areas.

Perimeter fencing provides good natural surveillance opportunities to the adjacent parking lot, truck loading dock, and adjacent roadways. Natural surveillance is created by providing unobstructed views to the parking lot entrances, parking areas, vehicle gate controls, and other assets that are relevant to this project. Good quality and quantity lighting is critical for good natural surveillance in the evening hours. Security Cameras

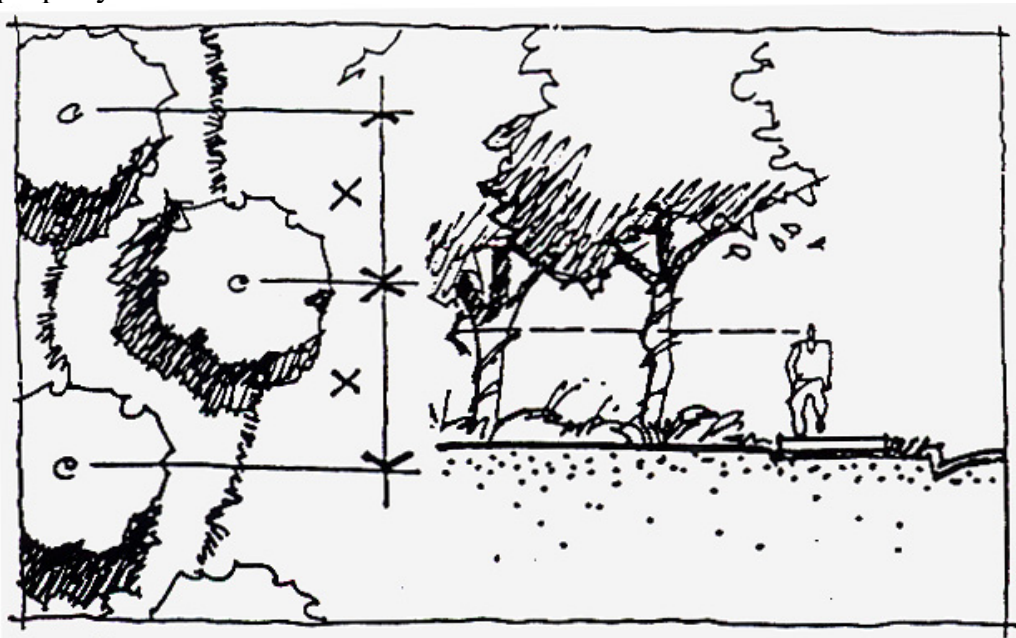
and license plate readers (LPR) are appropriately placed at the site entrances and exits, and throughout the property.

Natural surveillance is supported on the property perimeter with an eight-foot-high steel picket fence, and unobstructed views around the building. Tree canopies should have clear trunks up to 8 feet, and should not have branches or foliage hanging below 8 feet. These parameters will allow a clear zone of natural surveillance for police, and users of the parking lot, to be able to see clearly around the perimeter, and into the property. The CPTED goal is to catch, identify, and help resolve any potential landscaping and lighting conflicts in order to avoid existing or future conflicts, obstructions, and/or challenges to natural or mechanical surveillance, and landscaping and plantings. Maintenance staff must routinely check to ensure all surveillance cameras are strategically placed and in working order, so that they will not be obstructed by the growth of existing or installation of future landscaping.

**Organized surveillance** - The *warehouse* will not be employing any security services to patrol the property. If there is an incident the BSO (Broward Sheriff's Office) shall be called to intervene where and when needed, including in an emergency, to challenge and arrest trespassers, to deal with vehicle theft and vandalism incidents, and to handle disturbances and any suspicious activity as they emerge.

Natural surveillance is supported on the perimeter with groundcover plantings and hedges less than 36 inches in height, and tree canopies no lower than 8 feet to prevent obstructive limbs or foliage blocking visibility.

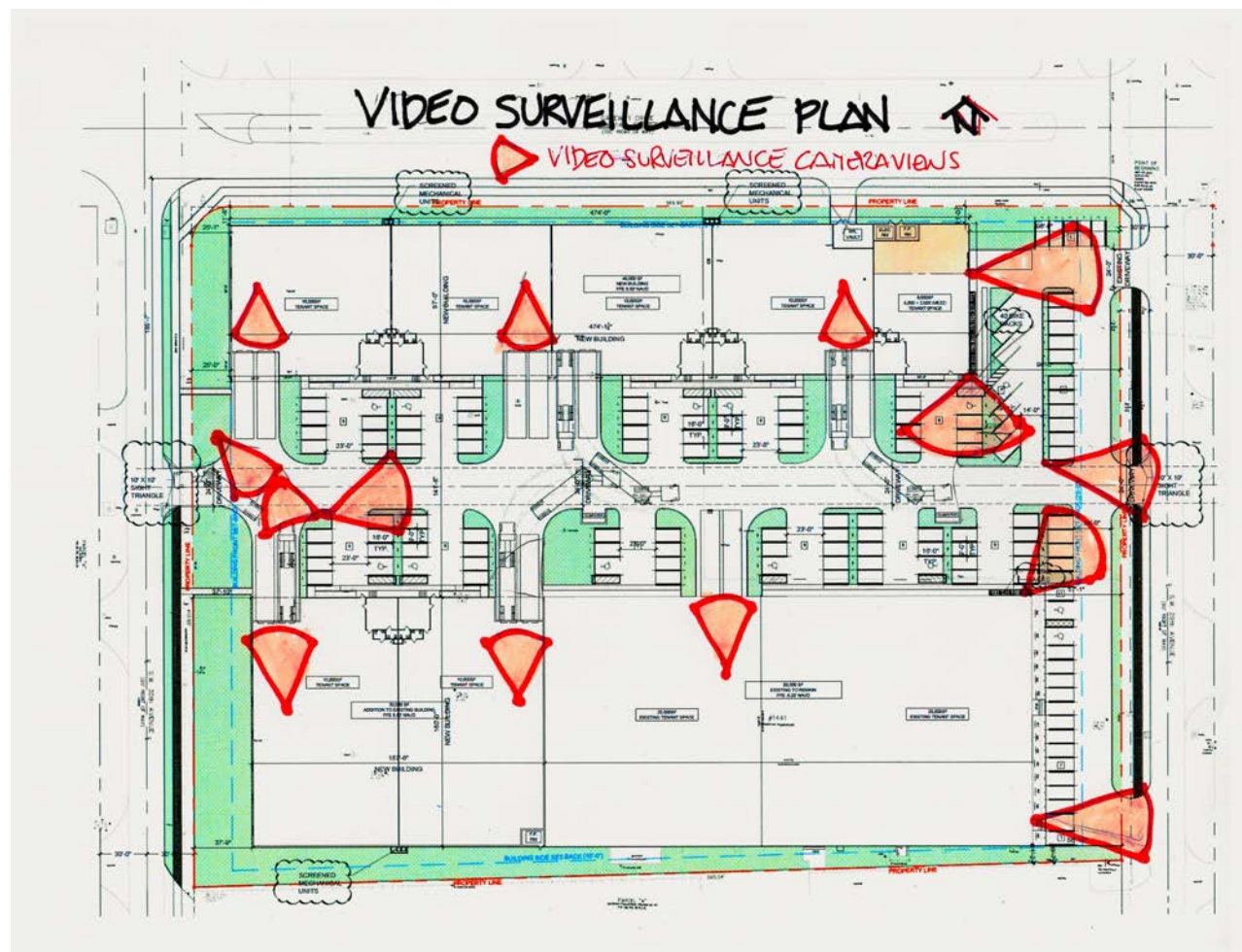
These parameters will allow a clear zone of natural surveillance for police, and legitimate capable guardians and staff, to be able to see clearly around the perimeter, and into the property.



**Mechanical surveillance** - Video surveillance is important in monitoring areas where supervision is needed, or being able to detect persons or activity when or where it should not be occurring. There will be video surveillance at the vehicle entrances, the parking lots, and perimeter boundaries. Motion activated sensors and infrared cameras may be used on the perimeter boundaries: to detect movement; and record any activity in what should otherwise be quiet areas; and observe activity that would be unexpected or unusual. It is proposed that all video will be recorded, and observable in real time if a monitoring service is used.

The Public Safety Plan will ensure electronic surveillance cameras are strategically located for maximum active and passive observation. The video surveillance sketch shows sight “cones” indicating comprehensive coverage. The proposed submission has all cameras are strategically placed so they will not be obstructed by the growth of existing or installation of future landscaping.

Video surveillance is important in monitoring areas where supervision is needed, or being able to detect persons or activity, when or where it should not be occurring. There will be video surveillance at the driveway entrance, the truck docking areas, and site perimeter, building exterior, and at each exit or entrance way from the building.



Video Surveillance Plan

Mechanical surveillance will use state of the art video surveillance systems, with smart analytics to recognize motion in the vehicle driveway, and the perimeter. Video will be recorded and stored for at least 30 days of records, and be downloadable to law enforcement for forensic evidence, if ever the needs arise, and the video surveillance system should have off-site video recording, and storage of data. There will be warning signage posted, stating that the property is under video surveillance.

The video system is suggested to be a high-definition IP video surveillance system with advanced hardware and optics for 1080p HD video. The cameras should be in secured casings that are weather proof and vandal resistant. The range on the selected cameras should exceed 50 feet with total clarity. The exterior cameras watching the parking areas and grounds should be mounted on the light poles, so they give good angles of viewing, and are not subject to tampering or vandalism. The lighting plan illuminates the areas being viewed with excellent resolution. The cameras should be able to use video analytics to make them smart, with high resolution, and be observant of unusual events occurring along the perimeter of the property.

All video is recorded, observable in real time, with data stored for 30 days, to be retrievable as necessary from a DVR or the cloud in the management office, and may be backed up and stored off site, as well. The cameras are in a secure-housings that are weatherproof and vandal resistant. The range on the cameras will provide good clarity and resolution. The exterior cameras capturing views are elevated high enough on the building walls off the ground, and therefore they provide good viewing angles and are not subject to tampering or vandalism.

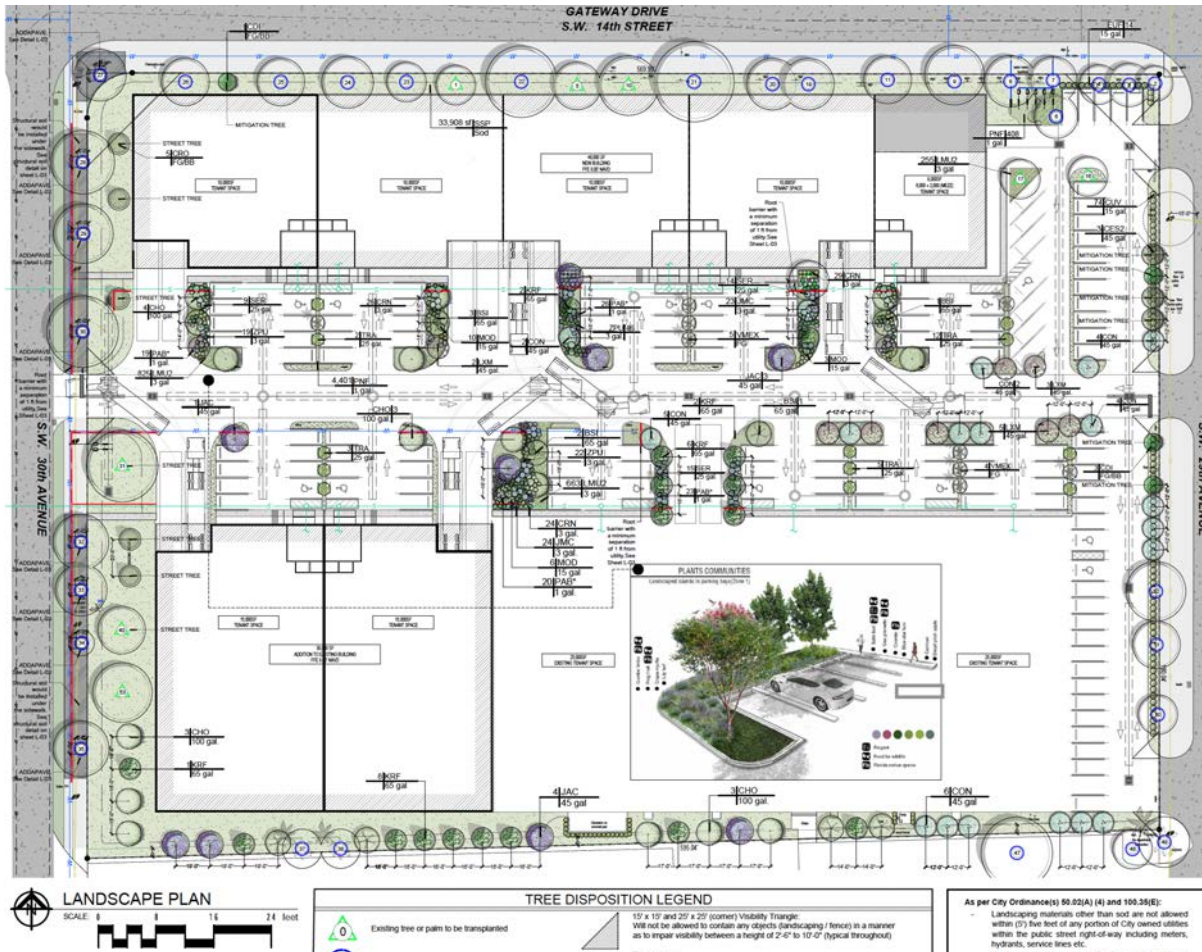
If there is going to be video surveillance on the property, the CPTED practice of management policies uses *signage* to *create notice* to trespassers or persons looking for an opportunity to steal something or hurt someone.



The pictures are examples of posting video coverage of a property.

## CPTED Lighting Standards: Natural Surveillance

The use of LED lighting will provide sufficient background lighting for clear resolution of the video surveillance systems. CPTED plays a role in providing clear coverage by mindfully avoiding conflicts of the video cameras lines of sight with overgrown plantings and trees, and careful placement of lighting luminaires to prevent glare into the cameras. The industry standard for resolution is 1080p, and the proposed camera system, such as AXIS brand or equal, are excellent video management systems.



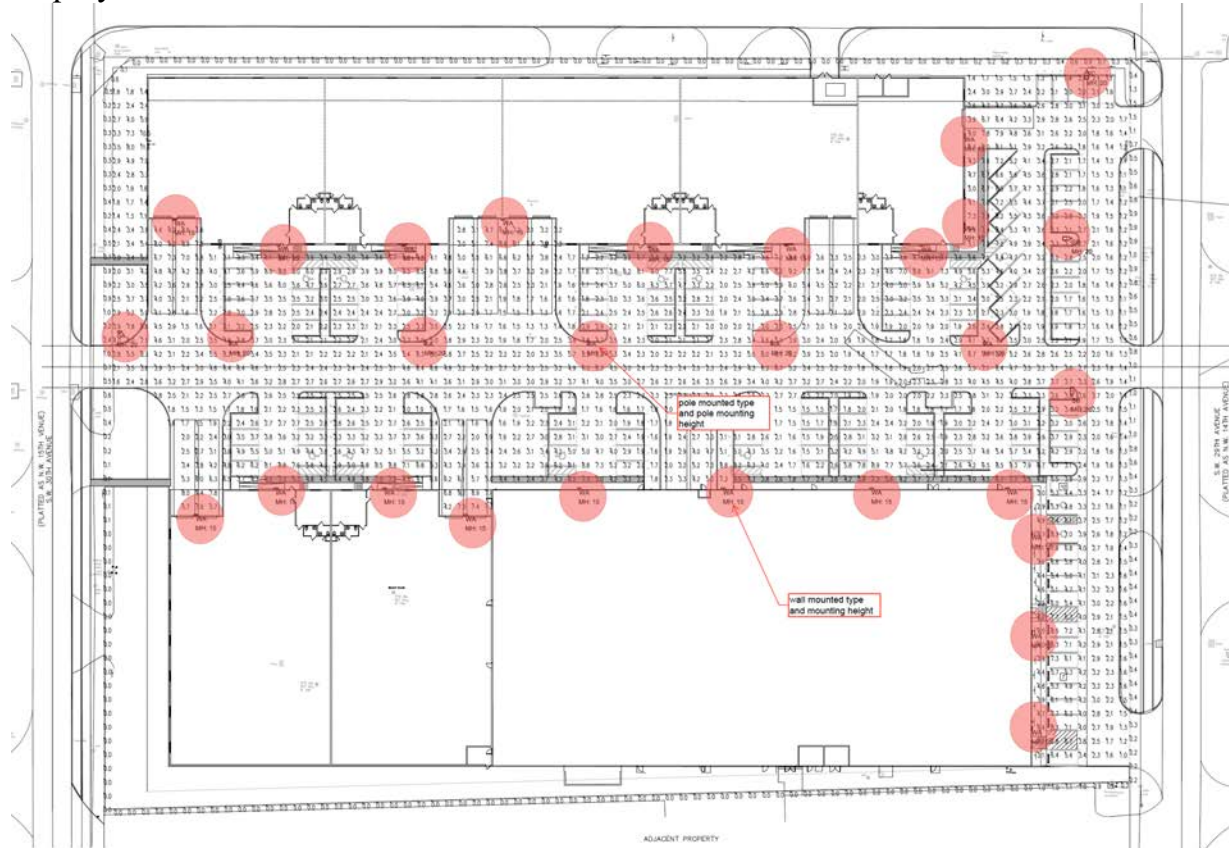
The proposed site avoids landscaping and lighting conflicts, in order to avoid existing or future obstructions, to the Natural or Electronic Mechanical Surveillance systems.

**Perimeter Lighting** – The photometric lighting plan demonstrates that there is adequate security for the site and parking areas, without the effects of light trespass or light pollution. On the west vehicle entrance light levels are 1 footcandle (FC) or greater. The parking lot has lighting levels greater than 1 FC. Existing Street lightpoles, using an LED light source are on the street sidewalks. The LED light source will provide a uniform quantity and quality of energy efficient lighting.

Industrial buildings, by design are at greater risk of loss and theft, car burglary, personal assaults, especially when confronting someone trying to break into your car. Theft of personal identification in vehicles can lead to identity theft fraud. Violent robbery

Incidents have resulted in serious personal injuries and death to guests, customers, and employees. Therefore, there will be full video surveillance coverage of the parking areas.

There are NO parking spaces planned for this warehouse facility. Any parking for employees will occur next door at the Colonial Van Lines Showroom.



The proposed Photometric Site Plan.

| LUMINAIRE SCHEDULE |     |       |             |                   |                           |                          |           |       |                  |                 |
|--------------------|-----|-------|-------------|-------------------|---------------------------|--------------------------|-----------|-------|------------------|-----------------|
| Scenario: WALLPACK |     |       |             |                   |                           |                          |           |       |                  |                 |
| SYMBOL             | QTY | LABEL | ARRANGEMENT | MANUFACTURER      | CATALOG NUMBER            | MOUNTING                 | EMERGENCY | LLF   | LUMINAIRE LUMENS | LUMINAIRE WATTS |
|                    | 6   | SA    | Single      | NLS Lighting, LLC | NV-1-T3-48L-7-40K-UNV     | POLE MOUNTED: 20' A.F.G. | N/A       | 0.900 | 12376            | 104             |
|                    | 2   | SB    | Single      | NLS Lighting, LLC | NV-1-T5-48L-7-40K         | POLE MOUNTED: 20' A.F.G. | N/A       | 0.900 | 12480            | 104             |
|                    | 1   | SC    | Single      | NLS LIGHTING      | NV-1-T4FTW-48L-7-40K7-HSS | POLE MOUNTED: 20' A.F.G. | N/A       | 0.900 | 7280             | 104             |
|                    | 20  | WA    | Single      | NLS LIGHTING      | NV-W2-T4FTW-64L-1-40K7    | WALL MOUNTED             | N/A       | 0.900 | 19578            | 201.17          |
|                    | 1   | WB    | Single      | NLS Lighting      | NV-W2-T3-64L-53-40K7      | WALL MOUNTED             | N/A       | 0.900 | 12119            | 99              |

| CALCULATION SUMMARY |             |       |             |             |             |      |      |     |         |         |
|---------------------|-------------|-------|-------------|-------------|-------------|------|------|-----|---------|---------|
| Scenario: WALLPACK  |             |       |             |             |             |      |      |     |         |         |
| LABEL               | CALC TYPE   | UNITS | SPACING L-R | SPACING T-B | HEIGHT (FT) | AVG  | MAX  | MIN | AVG/MIN | MAX/MIN |
| PARKING             | Illuminance | Fc    | 8           | 8           | 0           | 3.47 | 11.6 | 1.0 | 3.47    | 11.60   |
| PROPERTY LINE       | Illuminance | Fc    | 8           | N.A.        | N.A.        | 0.24 | 2.4  | 0.0 | N.A.    | N.A.    |

The proposed lighting luminaire schedule.

The proposed lighting plan meets industry standards and IES G-1-22 recommendations. The lighting schedule states that the average minimum illumination in the parking lot will be 3.47 FC. This complies with the State Law.

The lighting plan proposes LED lights mounted 20 feet above ground, to provide good site coverage of the building and loading area. The lighting plan shows excellent illumination to the exterior of the building and grounds, and vehicular entrance for good

visibility and accountability. The lighting will support video surveillance, and smart video analytics that will be placed around the entranceways, and truck loading areas. The video surveillance system will be recorded, and announced with warning signage that the property is under video surveillance. The video surveillance system should be using cameras with fixed lens, weather proof, and vandal resistant covers, and not use pan tilt and zoom, to make them maintenance free.

Lighting should usually be primarily concentrated on the building exterior; and it should not over-illuminate, or create shadows, so as to eliminate glare, skyglow, or undesirable light pollution trespass. Adequate soft LED lighting is preferable to spotlights, so as not to 'blind' desirable users, and make them prone to surprise hazards such as an ambush. With soft bright lighting, the field of vision is greatly extended.

The proposed photometric lighting plan shown above provides adequate lighting for the site and parking areas, without the effects of light trespass or light pollution. The vehicle entrances light levels shall be a minimum average of 2 footcandle (FC) or greater to comply with IES G-1-22 Security Lighting Standards. It will be important to view any illegitimate activity on the site and around the buildings. Security Lighting Goals include:

- The lighting plan shows the intention to provide excellent illumination parking lot spaces, and vehicular entrances for good visibility, identification and accountability.
- Plan for additional lighting at pedestrian entrances and paths of travel, to enhance natural surveillance, and encourage legitimate activity, stranger recognition on major access paths.
- The CPTED goal is to catch any potential landscaping and lighting conflicts, in order to avoid existing or future obstructions, or conflicts to natural or mechanical surveillance, and landscaping and plantings.
- Ensure all surveillance cameras are strategically placed, so they will not be obstructed by the growth of existing, or installation of future landscaping.
- Design out existing or potential concealment ambush points.
- All exterior entrances and exits must have unobstructed natural surveillance.
- Video will be recorded and stored for at least 30 days of records, and be downloadable to law enforcement for forensic evidence, if ever the needs arise. The video surveillance system should have off-site video viewing, and storage of data. There will be warning signage stating that the property is under video surveillance.

Therefore, lighting should be uniform and consistent with enough lighting to be able to observe movement by any potential trespassers. The photometric plans for the development show a uniform level of lighting and dispersion. Lighting will be shielded, and are energy efficient lighting sources. There is adequate lighting in the parking areas, common use areas, around the building exteriors, and the vehicle entrance and exit. The lighting will support video surveillance, and smart video analytics.

**Perimeter Lighting** – A photometric lighting plan shows that there is adequate lighting for the site, without the effects of light trespass or light pollution. The Broward County minimum lighting level requirements are **1.0 FC** according to Roadway Lighting

Inventory and Policy Development Report by the Department of Public Works in 2017. However, the industry standards, are the IES G-1-22 Security Lighting Guidelines which suggests a **minimum of 2 FC**. Exterior lighting for the property shall also comply with City of Pompano Beach Development Code, and Broward County zoning regulations 8.C and HB 837 §786.0706.

Site lighting should have even dispersion of lighting to avoid deep shadows or areas of darkness. To enhance security, the lighting engineer will select bright soft lighting and shielded fixtures, or luminaires, to eliminate glare and undesirable light pollution trespass. Wide dispersion of soft lighting is preferred to spotlights, so as to not blind legitimate property users, and make them vulnerable to a surprise hazard, such as ambush.

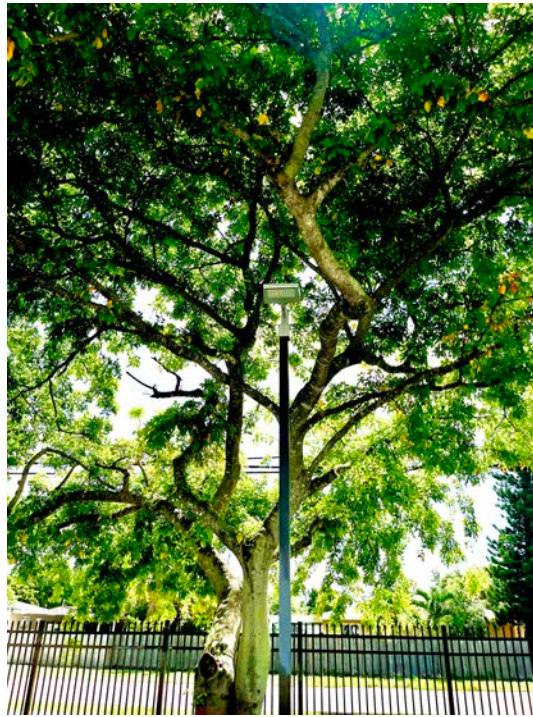


An example of light poles for the parking lot that can also be the mounting post for the video surveillance cameras. The ease to access prewired electricity makes this a desirable installation.



A close-up view of the video surveillance cameras mounted on the light poles.

PTED plays a role in providing clear surveillance coverage by mindfully avoiding conflicts of the video camera lines of sight and any obstructive overgrown plantings and trees. Also, ensure the careful placement of lighting luminaires to prevent glare into the cameras.



When landscaping and lighting plans are not coordinated, there are conflicts.



When the lighting plan and the landscape plans are not coordinated, you have very expensive tree lighting! The goal is to stagger the trees and the site lighting, to complement each other, and not compete for the same space. This light pole is illuminating the area close to the pole, but the parking area under the tree has the lighting blocked by the overgrowth of the trees. The trees should be pruned regularly to allow penetration of the light. The goal is to prevent this kind of problem in the design stage.

## Howard County - Chapter 8C - BUILDING SECURITY MEASURES

**Sec. 8C-3. - Illumination for open parking lots, alleys and access thereto and parking and non-enclosed areas under or within buildings.***(a) Generally:*

(1) This section applies to new construction and all existing buildings.

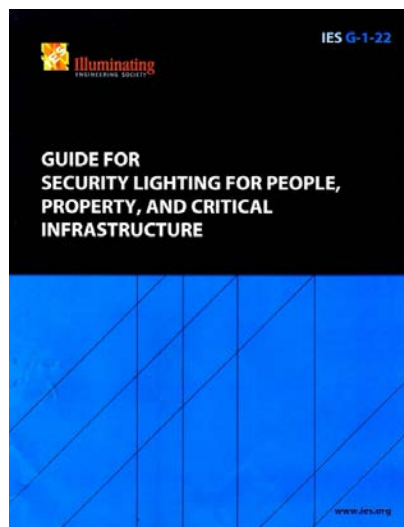
(2) Open parking lots, alleys, and access thereto shall be illuminated as set forth below. For purposes of this paragraph, alley is defined as a narrow vehicular thoroughfare up to twenty-five (25) feet in width upon which service entrances or buildings abut and not generally used as a thoroughfare for general traffic; provided, however, alleys shall not include public rights-of-way.

*(e) Group R1 (Residential transient) and R2 (Residential multiple dwelling) occupancies:*

(1) Open parking lots and access thereto shall be provided with a ***maintained minimum of 1.0 foot-candle on the parking surface from dusk until dawn.*** The uniformity ratio shall not exceed a twelve to one ratio (12:1) maximum to minimum foot-candles. Alleys shall be provided with a maintained minimum of one-third (1/3) foot-candle on the alley surface from dusk to dawn.

(2) ***Parking*** and non-enclosed areas under, or within buildings shall be provided with a maintained minimum of 1.0 foot-candle of light on the walking and parking surfaces from dusk until dawn, and the ratio of maximum to minimum illumination in foot-candles shall not exceed twelve to one (12:1).

Lighting levels around the building and common area spaces should be a minimum of 2 footcandles for industrial n area spaces; as per the Illumination Engineering Society (IES) G-1-22 Guide for Security Lighting for People, Property, and Critical Infrastructure (2022). The optimal types of lighting presently are LED luminaires. The parking areas meet the lighting level requirements as of the site inspection.

**Illumination Engineering Society G-1-22 Security Lighting Guidelines Summary Table.**

## Summary of G-1-22 Recommendations

| Location                        | Average Maintained FC                                                                   | Average to Minimum ratio                                           | Notes                    |
|---------------------------------|-----------------------------------------------------------------------------------------|--------------------------------------------------------------------|--------------------------|
|                                 |                                                                                         |                                                                    |                          |
| Critical checkpoints            | 2 fc exterior lighting<br>1 fc approach road and pathways                               | 3:1 out to 50" along the roadway<br>4:1 out to 150"                | Sec. 8.2.2               |
| Less Critical Sites             | 0.2 fc at boundaries<br>2 fc at entry points                                            |                                                                    | Sec. 8.2.3               |
| Perimeter fences & barriers     | 2 fc area around fence                                                                  | 6:1 10' inside fence<br>25" exterior fence                         | Sec. 8.2.4<br>Sec. 8.2.5 |
| Police, Fire Facilities         | 8 fc building entrances<br>5 fc general parking areas                                   | 3:1<br>4:1                                                         | Sec. 8.3                 |
| Medical Offices/clinics         | 3 fc pathways, parking, entry area                                                      | 4:1                                                                | Sec. 8.3.3.1             |
| Hospitals – ED, Trauma Centers  | 3 fc pathways, parking, entry area<br>8 fc entrances<br>5 fc parking & walking surfaces | 4:1<br><br>3:1 60" of vehicles<br>3:1 out to 100'                  | Sec. 8.3.3.2             |
| Storage yards, industrial parks | 1-2 fc terminals, rail yards<br>2 fc truck parking, rest areas                          | 6:1<br>4:1                                                         | Sec. 8.4                 |
| Commercial Offices              | Use reference standards from the other sections                                         | See sections 8.3, 8.11                                             | Sec. 8.5                 |
| Government Bldgs.               | 2.3 fc exterior perimeter<br>4.6 fc entrances/ exits                                    | 4:1<br>4:1                                                         | Sec. 8.5.1               |
| Business Checkpoints            | 2.3 fc building perimeter, driveways, parking lots<br>4.6 fc staff entrances/exits      | 1:10                                                               | Sec 8.5.2                |
| ATM's                           | 30 fc counter or stand<br>10 fc face of machine<br>3 fc walkways<br>2 fc pavement       | 3:1 out to 10'<br>3:1 out to 5'<br>4:1 out to 60'<br>4:1 out to 5" | Sec. 8.6                 |
| Parking lots                    | 3 fc pavement<br>0.6 fc sidewalks, pathways                                             | 4:1<br>4:1                                                         | Sec. 8.7                 |
| Parking garages                 | 6 fc pavement<br>10 fc Elevator & stairs                                                | 4:1<br>4:1                                                         | Sec. 8.8                 |
| Parks & Public Spaces           | 3 fc Parking areas<br>1 fc Gathering areas<br>0.6 fc trails & pathways                  | 4:1<br>4:1<br>4:1                                                  | Sec. 8.9                 |

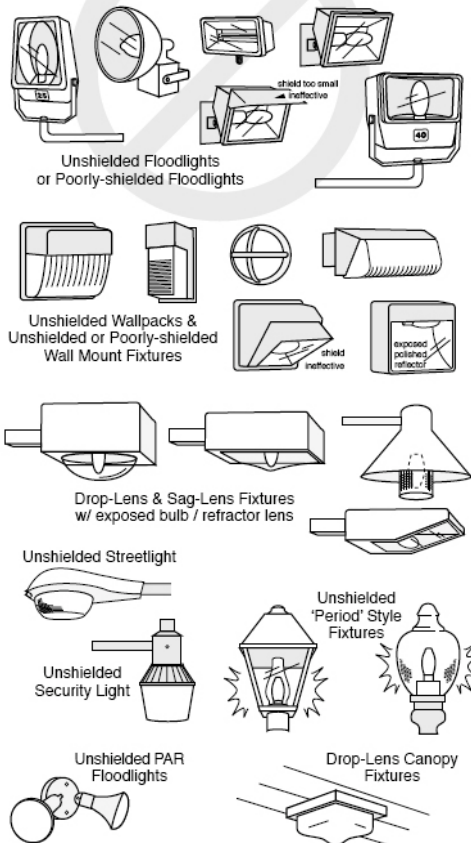
|                                   |                                                                                                                    |                          |                  |
|-----------------------------------|--------------------------------------------------------------------------------------------------------------------|--------------------------|------------------|
| Retail stores & shopping Centers  | 3 fc parking areas, sidewalks<br>5 fc 24/7 stores                                                                  | 4:1<br>4:1               | Sec. 8.10        |
| Restaurants                       | 6 fc exterior window service<br>3 fc Parking, sidewalks, pathways                                                  | 3:1<br>4:1               | Sec. 8.11        |
| Convenience Stores/ Gas stations  | 6 fc pavement<br>20-30 fc pumps                                                                                    | 4:1<br>3:1               | Sec. 8.12        |
| <b>Single Family Homes</b>        | 1 fc exterior doors                                                                                                | 4:1                      | Sec. 8.13        |
| <b>Multi- family units</b>        | 3 fc common areas<br>10 fc mailbox area<br>0.8 fc exterior doors                                                   | 4:1<br>3:1<br>4:1        | Sec. 8.14        |
| Senior Living Facilities          | 50 fc parking garages – day<br>10 fc parking garages – night<br>5 fc Exterior walkways<br>20 fc elevators / stairs | 4:1<br>4:1<br>3:1<br>4:1 | Sec. 8.15        |
| Hotels & Motels                   | 3 fc parking lots<br>1 fc sidewalks & paths                                                                        | 4:1<br>4:1               | Sec. 8.16        |
| Schools/ Educ. Bldgs.             | 3 fc parking lots<br>1 fc sidewalks & paths                                                                        | 4:1<br>4:1               | Sec. 8.17        |
| <b>Vehicle Display &amp; lots</b> | <b>20 fc surface lots</b>                                                                                          | <b>3:1</b>               | <b>Sec. 8.18</b> |
| Sporting Events                   | 3 fc pathways, parking                                                                                             | 4:1                      | Sec. 8.19        |
| Tavern & Bars                     | 3 fc in parking areas<br>8 fc at entry                                                                             | 4:1<br>3:1               | Sec. 8.20        |

Lighting levels must be consistent throughout the parking lot. It is recommended that all external lighting be with shielded, energy efficient LED fixtures. The nighttime experience should be a consistent level of lighting, without hot and cold spots, however the property should not be lit up like a nuclear flash, proverbially attracting the local “moths” to the light. Exterior lighting should be shielded and dark skies compliant (no sky glow or light trespass) luminaire.

## Examples of Acceptable / Unacceptable Lighting Fixtures

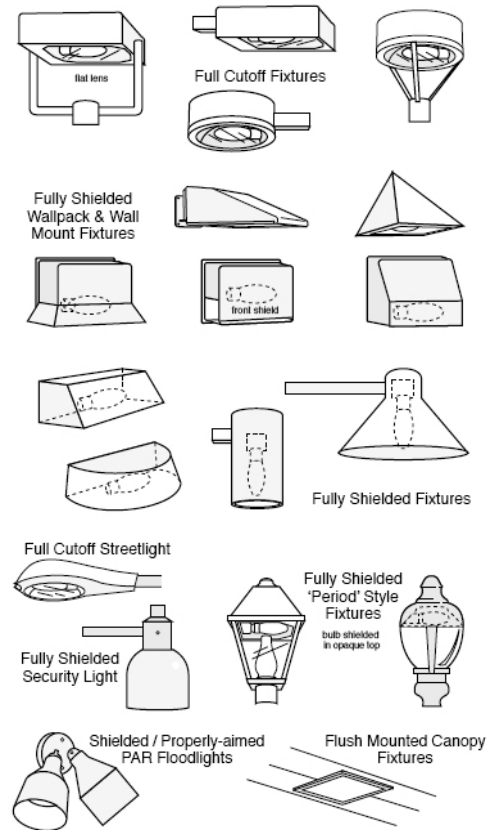
### Unacceptable / Discouraged

Fixtures that produce glare and light trespass



### Acceptable

Fixtures that shield the light source to minimize glare and light trespass and to facilitate better vision at night



This chart demonstrates acceptable lighting luminaires, emphasizing the value of shielding the luminaires to prevent light pollution, glare, and trespass.

### CPTED PRINCIPLE #2 NATURAL / MECHANICAL ACCESS CONTROL

The perimeter of the property, as deemed necessary, shall be protected by an 8' high hot dipped steel galvanized picket fence, wherever there is open space around the building. The entry to the truck loading and receiving area will be secured with a sliding and or swinging gate on a metal track.

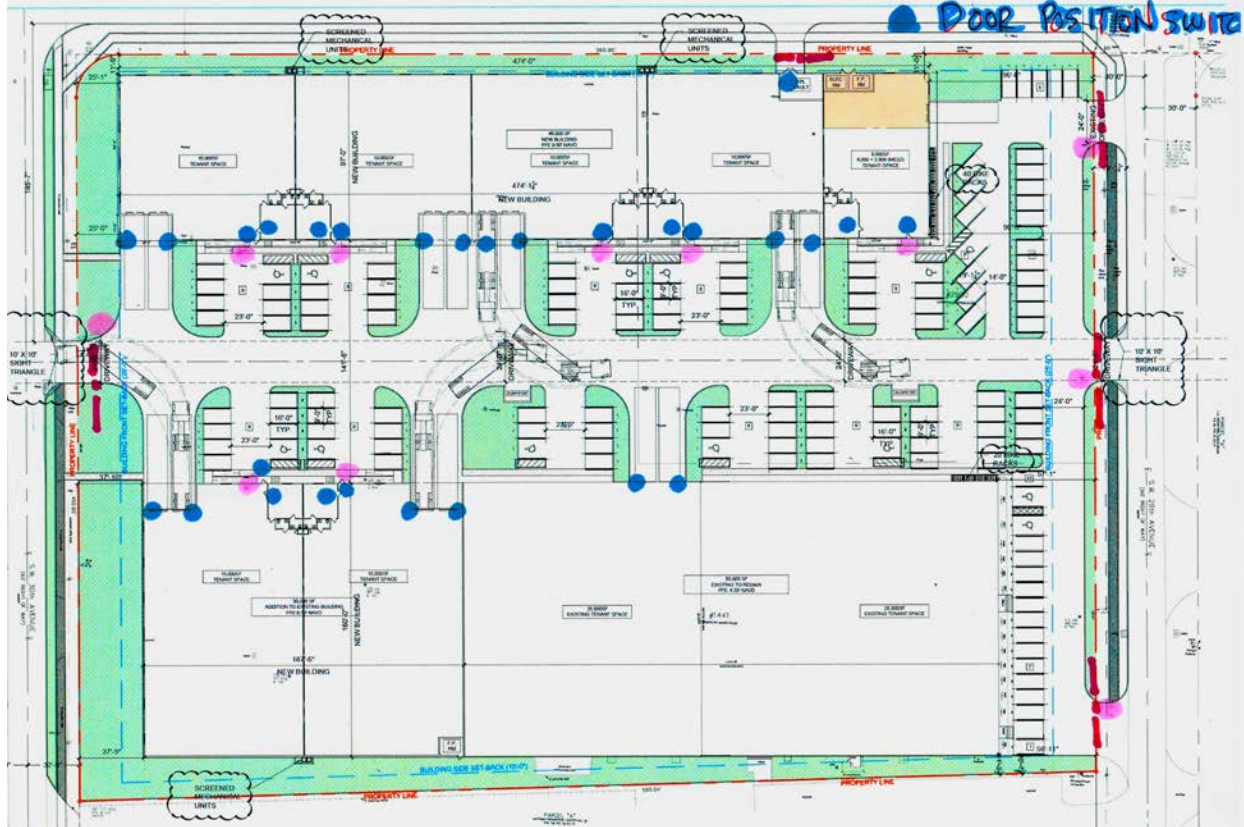
Access doors to secured areas of the building should have electronic access control card readers or biometric access control.



Sample illustration of electronic access control and biometrics access control.

## ACCESS CONTROL SITE PLAN

--- SLIDING GATES  
○ ACCESS CONTROL READERS  
● DOOR POSITION SWITCH



### ACCESS CONTROL PLAN FOR THE SITE AND WAREHOUSE

The design goal is to limit property and building access points and entrances. Public access points should channel guests through the fewest entry points possible. The site is accessed through one vehicle entrance located on the east boundary of the property. Fire egress doors should be alarmed, have door position switches (DPS), have non-removable hinge pins, have a Detex type push bar release, and have no hardware on the exterior that would allow the door to be used as an entrance.



Truck drivers may have RFID devices to engage the gates, and ground loops will open and close the sliding gates when the vehicle has passed. The sliding or swinging vehicle gates will reduce the opportunity for piggybacking and trespass.

### Fencing and Plantings

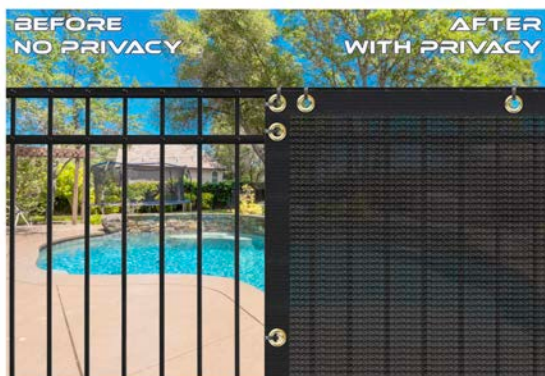
New landscaping should be indigenous and native, shall not to exceed 32 inches off the ground. Tree canopies should be maintained clear under 8 feet. If new saplings with tree trunks under 6" in diameter are planted, do not damage or mutilate them by pruning them

While they are too vulnerable to comply with the canopy requirement. Wait until they are mature trees with trunk diameters over 6", and only if and when the canopies are blocking a clear field of vision sightline. The landscaping and planting goal is to allow a clear zone of natural surveillance for police to be able to have unobscured sightlines around the perimeter and into the property. CPTED landscaping standards are a deterrent to loitering, trespassing, and to help to deny any concealed staging by unauthorized persons to reduce the opportunity for ambush or other potential criminal activity.

Plantings should be maintained to be no higher than the fence line on the boundaries, where there is fencing. Tree canopies should be maintained clear under 8 feet, with a tree trunk six inches in diameter or greater. If new saplings are planted, do not mutilate them to comply with the canopy requirement, until they are mature trees with a six-inch diameter trunk or greater, and if the tree canopies are blocking the field of vision.

Access control will be accomplished with attractive sliding fencing gates, and attractive shielded fencing on the boundaries.

The following are examples of fencing the designers may consider for boundary definition and access control delineation:



Any existing or future fencing should be CPTED oriented to resist climbing, but since the fencing must comply with zoning regulations, that require screening of the warehouse facility, there may be the usual CPTED strategy of "seeing through the fence". Fences should limit, or not have easily accessible horizontal bars, that could be used for climbing and breaching any security fencing. Use narrow spacing to prevent footholds. Any

Landscaping in front of fencing should be low ground cover with a maximum height of 3'-0" feet. The fencing material is preferred to be a hollow metal picket type fencing, and not aluminum, which is too weak and fragile. The horizontal pickets should not be spaced so as to provide steps or a ladder to climb over easily. It is recommended that the fencing be 8' high around the property.



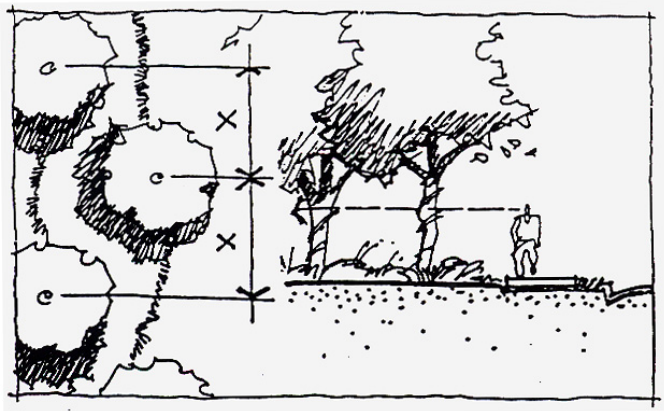
The primary entrance may have intercom for guests and visitors and a fob reader for employees and drivers. In addition, there is a click2enter system for EMS/Fire/Police services.



A click2enter is like a Knox box, but for police emergency access.

CPTED standard access control fencing and territorial reinforcement, natural surveillance, and landscaped plantings are supported on the building perimeter with ground floor plantings and hedges pruned and maintained at no higher than 32 inches in height. Mature tall canopy trees are maintained with a clear trunk up to 8 feet without any large limbs or foliage hanging down. These CPTED standard landscaping parameters will allow a clear unobstructed zone of natural surveillance for police and employees, to be able to see clearly around the perimeter, and into the property.

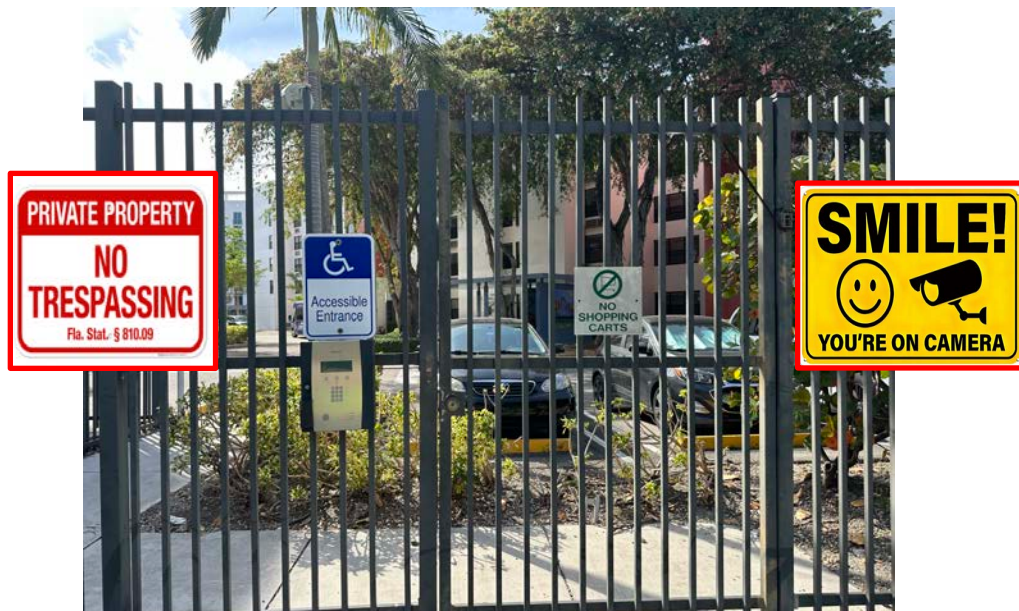
Landscape plantings should be maintained no higher than the perimeter wall on the boundaries wherever there is fencing. Note that any young immature newly planted trees with a tree trunk diameter six inches or less is excluded from this CPTED rule, so as not to damage or kill them.



The picture and diagram above illustrate the zone of visibility over the groundcover and under the canopy.



Where there is exterior picket fencing, plantings should be used to create a setback and visual buffer. The fencing has a pointed topping to deter and dissuade climb overs.



Fencing along with warning signage provides access control and boundary definition with groundrules posted.



Sloping sites must accommodate the fencing as it moves along the ground, so there are no gaps or crawl spaces underneath. This can be accomplished with an extension or a footer.

Where there is exterior picket fencing, plantings should be used to create a setback and visual buffer. The fencing shown above has a pointed topping to deter and dissuade climb overs. The border definition will be improved with an attractive code compliant metal picket fencing with plantings, at the property entry points, and the main pedestrian travel paths to dissuade and deter trespass.

Access control features should include the following:

- Having attractive fencing, and low height CPTED compliant plantings and landscaping on the boundaries will accomplish Natural Access Control.
- Parking spaces should be clearly and individually marked and assigned for authorized employee use only.
- Post signage in parking areas forbidding vehicles, other than authorized employees, to park and loiter in these properties parking lots.
- Post towing sign, and enforce tow away policy consistently, concerning non-resident/ non-authorized guests, and abandoned vehicles.

**“No Parking Lanes” and “Tow Away” Signage** –Prominently post towing signs and enforce tow away policies consistently concerning abandoned vehicles, illegally parked and or unauthorized vehicles. Post signage and paint curbs red in parking areas forbidding vehicles other than owner's/ authorized guests/ employees to park and loiter in the private parking lots.



Illustrations of signage regarding consequences of illegal parking.

**Building Identification** - Ensure buildings are clearly identified by street number and building numbers to prevent confusion, disorientation, and unintended access to persons trying to find the building. Street numbers should be plainly visible and legible from the street or road fronting the property. Each building entry should clearly state the unit numbers accessed from than entry. Street numbers should be made of durable materials, preferably reflective or luminous, and unobstructed by foliage.

Wayfinding and instructional signage must be prominently display and posted where necessary. Building number signage should be visible, lighted for evening viewing, and have good color contrast. Building and unit numbers should be illuminated so that they are visible from the street, and by EMS and law enforcement responding to an emergency.

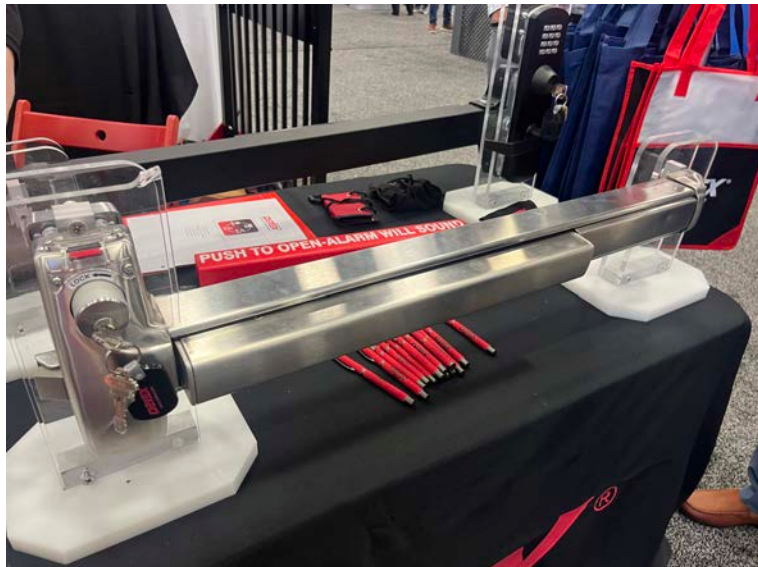
**Doors – Access Control** – All doors to a commercial application, like a warehouse, should be hollow metal doors and frames. All exterior doors should have non-removable

ing pins. It is recommended that all exterior doors be suitable for door position switches (DPS), to signal a security alarm system that a door, which should not be opened, has been opened and breached. Occupants or the designated alarm company should then investigate the mitigate the security breach accordingly. The rolling gate of the truck loading dock shall have a DPS to insure the locked status of the roll down door during non-working hours. The metal strike plate screws should be a minimum of 1” long, for holding the strike plate and lock into the door and frame. All exterior doors should include anti-pry robust security bar device, but must also comply with fire codes.

For commercial and industrial facilities, the City is requiring installation of a hard-wired burglar security alarm at the property, wherever valuable of any kind are stored. Alarms must be monitored and activated whenever businesses are closed or all personnel are out of the building office.

For commercial and industrial facilities, the City of Pompano Beach is requiring areas where there are front desk receptionists or secretaires, etc. must be designed with a clear boundary delineation or enclosure separating public from private areas. For the office area in the warehouse, the main lobby will have a door control lock system that buzzes someone back into the office area. The intention is to deter accidental or intentional trespass into a restricted area to protect employees and to prevent unauthorized persons from gaining access to property, valuables, sensitive equipment or supplies, etc. A secondary benefit, is to signal an early alert to employees if someone unauthorized is attempting to breach the private non-public area, so they can buy time to get to safety and alert security or police for assistance.

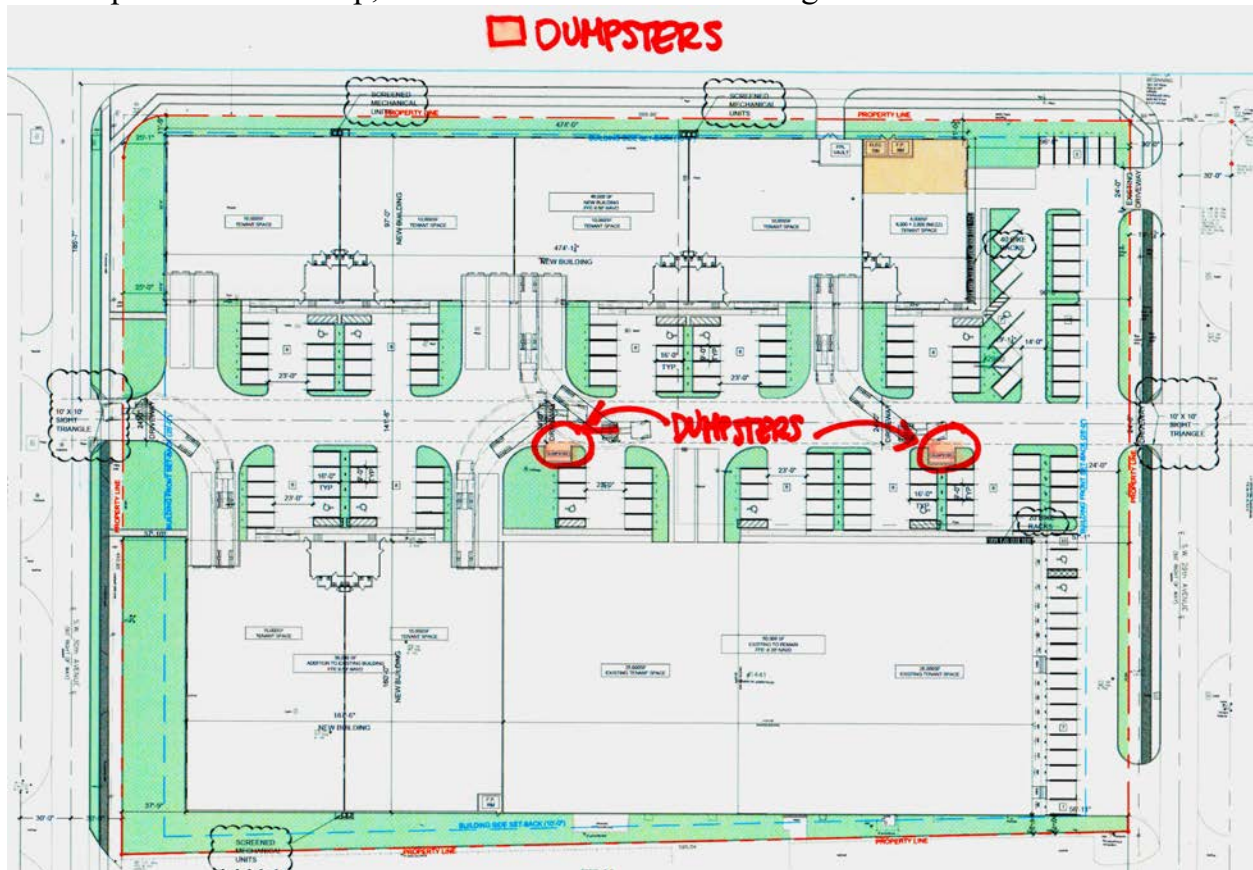
It is recommended that for all exterior exit egress doors have a DETEX type door alarm for all doors that are serving as a fire exit only, and not a primary means of entry.



**Waste Management / Garbage** – There shall be security strengthening features for trash disposal and dumpsters to deter loitering by trespassers, illegal dumping, and

concealment and ambush point for criminals. Dumpsters shall have enclosures with rolling or swing gates. There must be a robust locking mechanism, such as a throw bolt, with a shielded padlock. The dumpster gate should be elevated 8" off the ground to facilitate surveillance of illegal movement in the trash area. If there is a pedestrian passageway into the dumpster area, it must have a lockable gate which remains closed and locked, except when in active use by authorized persons. The dumpster area shall have a vandal resistant lens cover, be activated by motion, and illuminate the area when in use between sunset and sunrise. The dumpster area shall be under video surveillance coverage.

The disposal of waste material at the warehouse is accomplished by employees bringing trash to the dumpster in the corner of the site. The trash is deposited into dumpsters, which then are moved to the parking lot for waste management pick up. The waste management company is scheduled for pick up twice a week. Property management must hold the waste management company accountable for garbage can proper placement and picking up of litter when it has completed the emptying of the dumpster. Maintenance must take photos each time the waste management company leaves a mess. This is necessary to stop the property from appearing poorly maintained as that would lead to a lack of pride in ownership, which is an essential CPTED goal.





The picture above demonstrates a really good example of a CPTED compliant dumpster. Notice the raised gates for natural surveillance, and the terraced top of the dumpster wall. Having a rounded or beveled top works equally, as well.

Where there are trash dumpsters, add a pitched, beveled, or terraced top of the dumpster walls, or make them round and smooth, to reduce ability pull yourself up on or over, or be able to walk or sit on top. Add bollards to prevent back up damage into the dumpster; have a concrete pad with drainage grill; have lockable screen/gate doors to prevent unauthorized use after hours; have the screen gates raised 8 inches off the ground to improve visibility by police and staff to reduce opportunities for dumpster diving; and have dumpster enclosure walls with a rounded, pitched or beveled, or terraced top to prevent sitting, walking, or climbing on. There should be clear signage about no dumping. The area of the dumpsters should be well illuminated, and be under video surveillance.



Dumpster signage.



This is what the dumpster areas should look like, screened and lockable. Notice the dumpster rules posted as well.



Additional examples of good CPTED design dumpsters, with good shielding, raised gates off the floor, lockable gates, and difficult to climb and sit on walls.

**Key Control:** Any keys, key fobs, key card devices and or similar devices that are stored on site must be secured with an access-controlled system. There shall be a key control system in the on-site property management office, with the keys stored in a secure key storage container. If the mechanical keys are in the secured container, they should only have a general description, and avoid displaying a specific location of unit or room numbers in case there is a security compromise of the key cabinet. Video surveillance should be installed to monitor the key cabinet, for the offices, apartments, commercial spaces, and for the parking garage.



The pictures above show the key control box and data log at comparable apartments. The box is lockable with a key-control.

The key control accountability system should maintain an electronic data log of which unit doors are opened, by which resident's key. Integration of the camera system with the access control system can determine which resident entered onto the property, including the entry gates, and if there was an incident, such as a duress situation. It is also important to see if someone unauthorized or suspicious is piggybacking or tail-gaiting behind an employee, in the event of a subsequent criminal threat or incident. Also, employees sometimes don't follow the rules and piggyback behind other vehicles causing damage to the vehicle gates. Both the data log and the video surveillance will be retrievable in case the need arises for management, and/or of an incident for law enforcement to conduct a follow up investigation.

Wherever the key control box is stored, the closet or device doors must have an alarm and a robust mechanical locking system. The office key storage area must be under video surveillance. The management or security office door must have a security viewer, a reinforced glazing panel, or peephole to permit visibility into adjoining spaces before opening the door.

It is recommended that if there are mechanical and electrical rooms for the property, that they have the exterior doors with non-removable hinge pins, monitored for accountability, and have door position switches (DPS) on the doors. Door closers may be used to ensure proper closing and latching of the locks. If there is a roof access door, it should also have a door contact switch, to create an alarm condition if it is being used, other than through authorized and approved maintenance personnel and vendors.

**Duress Alarms:** In commercial and industrial facilities, where there are front desk receptionists or hosts, there shall be installed a fixed concealed silent panic duress alarm at the main entrance, (right picture below) and provide a portable indicator for redundancy in the event the fixed alarm is compromised due to the fixed alarm post being

vacant, or for any serious incident such as an active assailant, or other emergency (left picture below). Additional portable duress alarm activators must be provided to employees that are assigned to work on the exterior of businesses. All staff, especially females, should carry a small audible-visual alarm, especially at night.



<https://www.ebay.com/itm/235446147263?chn=ps&mkevt=1&mkcid=28&srsltid=AfmBOooe9VAMelrkSt7dngyzCnQaZ-iSsgbnkYsbXoofpLfXulk07IIRG1E>

**Interior Space Intrusion Protection** – The warehouse will have appropriately placed intrusion detection alarm sensors in the open bays to detect illicit movement, and break-ins from the roof or through exit doors. The sensors should be dual technology to avoid false alarms.

In warehouse facilities it is common to have skylights and very large fans, known as Big-Ass-Fans, to circulate air. As part of the CPTED review, the roof plans and dropped ceiling plan for the warehouse should be have restricted access, and be alarmed for motion detection, as these are likely locations for forced entry attacks.



There are NO skylights planned for the roof of this building. The Pink Dots shown above are showing the fresh air intake and exhaust vents. These vents are vulnerable to attack on the roof by taking off the sheet metal casings, and dropping into a vent space or directly into the building.



Examples of typical roof fresh air or exhaust vents.

The reflected ceiling plan for the warehouse shows placement of 4 Big Ass Fans. But there are no skylights above the fans, and the HVAC vents are focused and small. Nevertheless, any penetration of the building wall or roof, needs to have reinforced wire woven mesh, or re-bars in a grid pattern to deter any breach of the vents by a potential burglar or forced entry attack.



Examples of security barriers for HVAC vents.

## CPTED PRINCIPLE #3 TERRITORIAL REINFORCEMENT/BOUNDARY DEFINITION

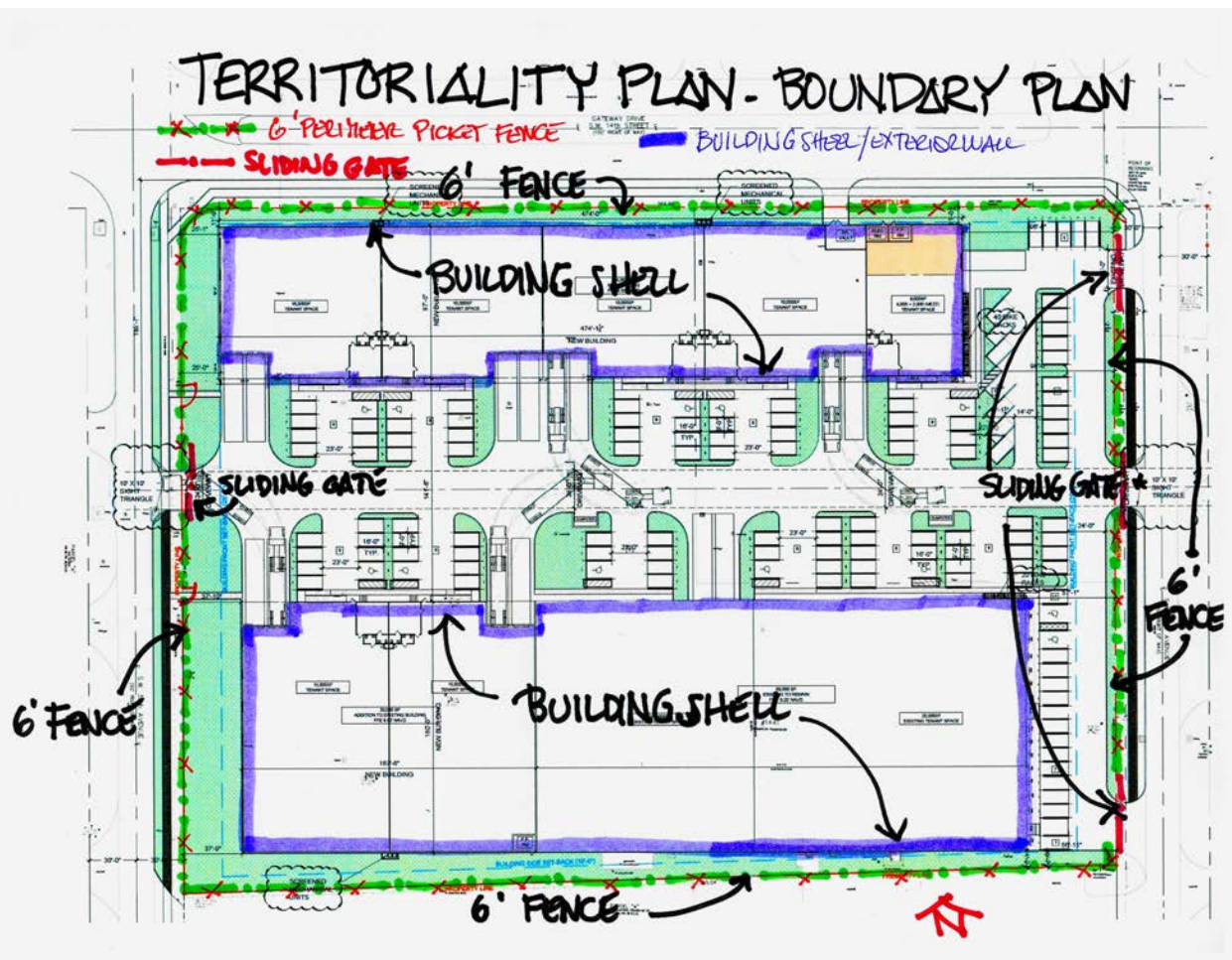


The aerial view shows the plantings that borders the boundaries of the property.

The site is proposing a landscape buffer of indigenous plantings, that are dense enough to deter walking through, and provide additional screening for the warehouse facility.

The site design has a combination of sliding gates and fences, and other CPTED devices and measures helping to cars along the intended pathways to the intended openings and desired entrances.

There will be boundary definition to reinforce territoriality of the new warehouse, in the form of fencing, gating, and walls. The wall should be designed to resist climbing, sitting or walking on, and vandalism of graffiti and tagging. Wall surfaces along the building perimeter must be treated with a graffiti resistant sealer or resin up to 8' off the ground or floor to prevent vandalism. Graffiti can incur costly Code Enforcement violations, therefore incorporating this kind of vandalism prevention beforehand is financially strategic, and vital to project sustainability.



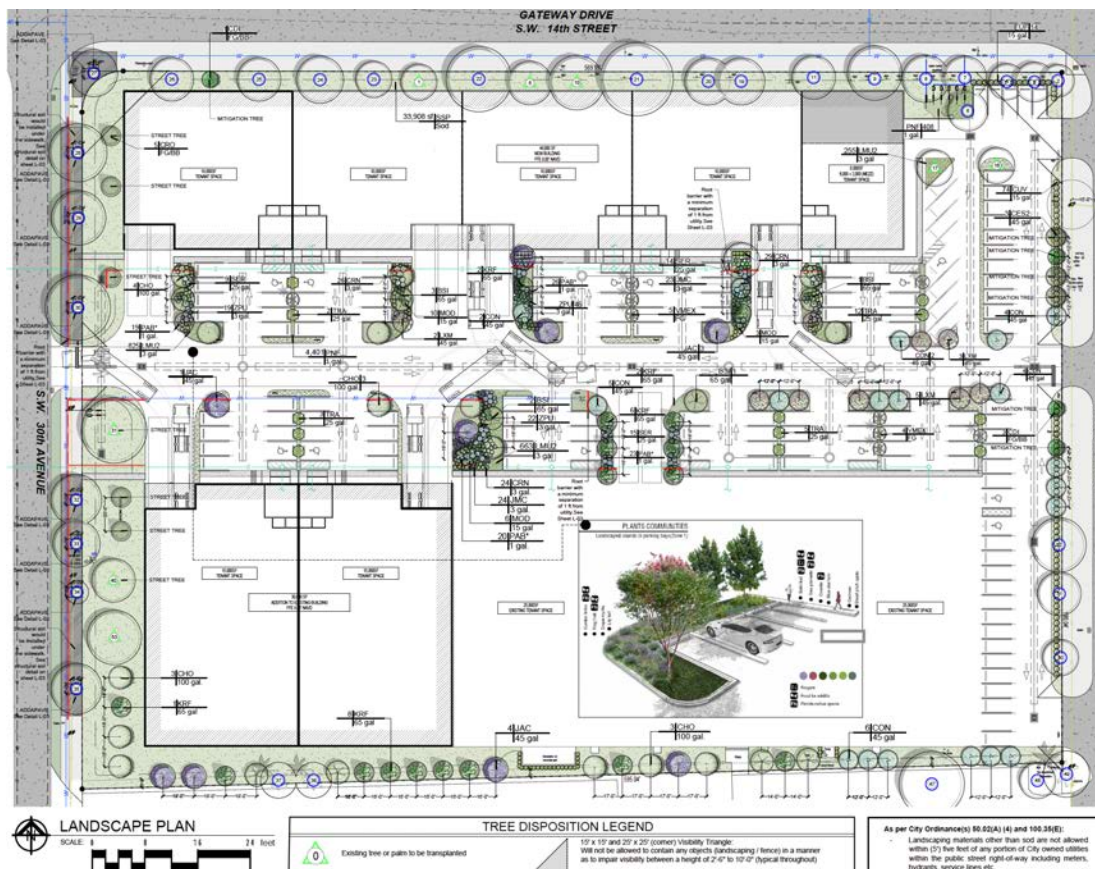
#### TERRITORIALITY PLAN / BOUNDARY DEFINITION

The south perimeter boundaries will use the actual building exterior as the boundary, with the only entrance for employees and visitors from the east side. Fencing around the building's North, West and West borders will serve as the physical barrier of the property.

Where plantings are specified along the parking lot exterior, the Landscape Architect will design in dense, low-profile, and or harsh thorny type obstructive landscaping in any vulnerable areas, such as under windows, around fencing or walls, remote property lines, as a deterrent to loitering, trespassing, and to deny any concealed staging by unauthorized persons to reduce the opportunity for ambush or potential criminal activity.



Posting warning signage is critical for establishing personal responsibility and management liability limits.



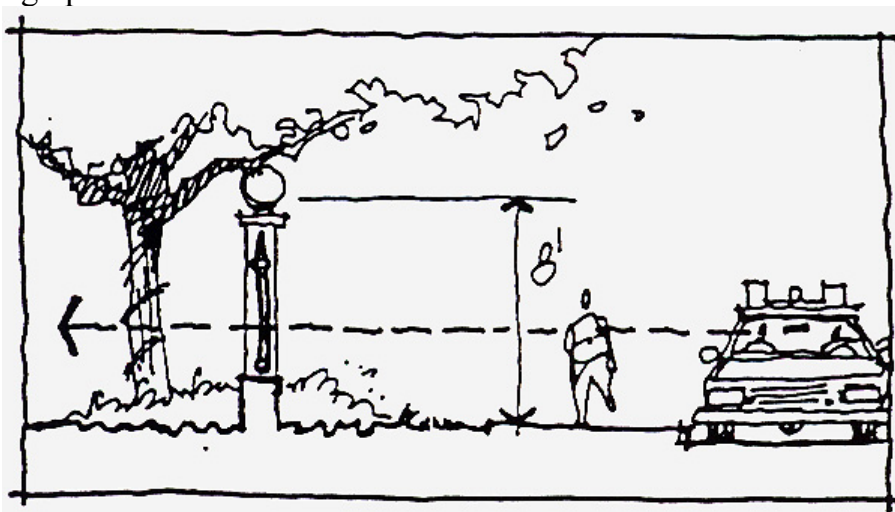
The Landscape Plan for the *Colonial Van Warehouse* is shown above.

## PLANTS COMMUNITIES

Landscaped islands in parking bays (Zone 1)



The landscaping plan shows the trees and plantings that buffer the parking lot and the property, and provide visual screening to the warehouse facility. The planting choices comply with CPTED best practices and standards of care by permitting natural surveillance over the ground cover, and under the tree canopies. The selection of plantings that are low maintenance, and don't require frequent trimming or pruning is desired. However, as noted earlier there are potential tree placement conflicts with lightpoles.



The goal of the landscape buffer is to provide a visual screening for the warehouse facility. As required by the City and Urban Forestry Department of Pompano Beach, a new planting buffer will be required along the perimeter setbacks. New landscaping will be indigenous and native, not to exceed 32 inches off the ground. Tree canopies should be maintained clear under 8 feet, with a tree trunk six inches in diameter or greater. If new saplings are planted, they do not need to comply with the canopy requirement, until

There are mature trees, and the canopies are blocking the field of vision. The goal is to make this a clean and clear easement that any intrusion would be obvious and noticeable from the surveillance on the sides of the property. The landscaping and planting goal is to allow a clear zone of natural surveillance for police to be able to have unobstructed sight around the perimeter, and into the property, yet screen the warehouse facility from view from the street.

Adding attractive picket fencing can be used to close the gap between the facility exterior, and the adjacent properties, which will reinforce territoriality and boundary definition. The perimeter will be secured with access controlled attractive picket fencing gates, to prevent unauthorized access into the private spaces by trespassers.

No Trespassing signs are to be posted along the perimeter boundaries, using proper State Statute references, and enforced by the appropriate law enforcement agency, BSO.

The developer will submit a Broward Sheriff's Office, No Trespass Program Affidavit, with the development application. The developer will post sufficient BSO No Trespass Signage, so that it is readily observed at the main vehicle entrance, and all sides of the property. The project will prominently post the no trespass signs securely using robust fasteners at all corners.

Good maintenance and upkeep reflect good property management. The employees and drivers have a reasonable expectation to have things in good working order.

Additional CPTED Maintenance Strategies include:

- The exterior building walls up to the wainscot (8'), and public path of travel, should be treated with a graffiti resistant resin to prevent vandalism, and facilitate easy cleaning. If there have been incidents of graffiti and tagging on the exterior building walls, after cleaning they should be treated with a graffiti resistant resin to prevent repeat vandalism up to the wainscot as this will facilitate easy cleaning maintenance.
- Lighting luminaires will be energy efficient LED fixtures or equivalent, which require little or no maintenance.
- Ground planting and hedges should be less than 2'-6" feet, and mature tree canopies over 8 feet to allow clear zone of natural surveillance for police to be able to have unobscured sight around the perimeter and into the property.
- Design in Dense, low-profile and/or harsh thorny like non-obstructive (maximum height 2'-6" feet) landscaping plantings in any vulnerable areas, such as under windows, around fencing or walls, and remote property lines. These climb resistant plantings serve as a deterrent to loitering activity, trespassing, and to deny any concealed staging, and ambush opportunity for potential criminal activity.
- Insist on properly secured installation of video surveillance cameras at the vehicle entrance, especially being aware that there should be no exposed wires that would allow tampering or vandalism.

Cameras must be installed strategically so that their sightlines capture the most vulnerable areas, and also ensuring their sightlines are not obstructed by any physical features or overgrown plantings or landscaping.

- The intercom system should present at the visitor entrance lane and repositioned far enough away to allow a turnaround lane if a person is rejected entry.
- The pedestrian gate entry should have an intercom that will be needed to screen and grant access to walk-in guests. The pedestrian gate should have video surveillance of the ingress and egress of all persons, and have surveillance along the path of travel until past the management office. In addition, there needs to be additional lighting placed along the entry gate and travel path leading to the management office building.
- Add a peephole or vision panel in the management office front door, and also add an audio-visual intercom screening system.

## **CPTED PRINCIPLE #5 MANAGEMENT**

Property management is the glue that holds everything together, and holds staff accountable for their actions or inactions. CPTED strategies for Management's role in safe parking environment include:

- All employees and drivers will be thoroughly screened, and background checked for any prior criminal history.
- Property Management will establish a relationship with local police to encourage essential community policing collaboration, and to ensure cooperation in readily obtaining any relevant police incident reports that might affect and/or occur on the property.
- Property Management will keep records of incident reports that occur on the property, for at least three years.
- Property management and security staff will routinely check for unauthorized vehicles and document any violations without delay.
- Maintain an email list of employees and office staff keep them regularly informed of any issues of concern.
- Post important crime prevention tip flyers, such as anti-burglary/ auto theft, stolen property, in the employee break area. These flyers and bulletins can be obtained from local police or online from any law enforcement agency, regardless of jurisdiction. Good crime prevention tips do not cost anything.
- Contract for security patrol services for evenings, 7 days a week, from 6:00 pm to 6:00 am.
- Staff should be trained to recognize signs of domestic and workplace violence, such as Active Assailant training. This excellent training opportunity benefits everyone including tenants, owner, and staff.
- There should be a silent panic duress button and alarm added to the front office and staff desks to alert law enforcement of a volatile or dangerous situation. There should be one fixed alarm activation button, and at least one portable panic activator button.
- There should be no cash collected or stored at the office, and there should be no vault or safe on the property. Also, ensure to prominently display a "NO CASH ON PREMISES" signage accordingly.

Maintain and prominently post security announcements on the employee bulletin board at the management office and employee breakrooms, and keep it updated.

- If there are any “Fire Lanes” or “Restricted Parking Areas”, paint the curbs red and prominently post a “FIRE LANE ONLY” sign, and post signage stating, “WARNING - CARS WILL BE TOWED AT OWNER’S EXPENSE IF PARKED IN FIRE LANE”.
- The operating hours should be clearly posted at the main entrance to the office.
- Important documents, especially those with any sensitive confidential personal identity information, should be securely stored in the sturdy locker cabinet with access limited only to those with a clear need to know authority. The document storage locker should be fireproof and under video surveillance for accountability.

### CPTED PRINCIPLE #6 ACTIVITY SUPPORT

This warehouse facility will be operating 10 hours a day, from 8 am until 6:00 pm., Monday through Friday. Service vehicles will access the property as needed, and subsequently provide eyes on the street. The truck drivers, video surveillance, and service personnel serve as capable guardians of the property, and can challenge trespassers, and call police for quick response.

**Signage** – Proposed signage includes posted warning signage, trespass signage, and groundrules signage. Groundrules signage is critical for achieving compliant behavior by employees and visitors. Unwanted non-guest parking and vehicles should be discouraged, and no parking tow away signs, will be posted on the north, east boundaries. Guests may be asked what their vehicle license plate number is, to have accountability of the cars in the parking lot that are belonging to guests. In addition, no trespass signs citing local ordinance statute reference, and who is enforcing the trespass (BSO), and no trespass will be posted on the site perimeters, every 100 feet on the perimeter, and within the parking lots. Trespassers cannot be successfully arrested, and prosecuted, if the notice is not properly worded and posted. There should also be signage that the facility is under video surveillance that serves as a notice to trespassers and criminals.





“No Trespassing” signs are to be posted and secured along the perimeter boundaries using proper State Statute references and enforced by the appropriate law enforcement agency.



Video surveillance signage should be displayed to create notice to the users. Video surveillance signage should be displayed in conspicuous areas to create notice to the users that they are being monitored.

There should also be signage that the parking lot is under video surveillance, which serves as a notice to trespassers and criminals. Ground rules signage is critical for achieving compliant behavior by employees. Unauthorized parking should be discouraged. “No parking tow away” signs will be posted on the boundaries and anywhere deemed necessary. Legally required “No Trespass” signage will be prominently posted to deter unauthorized access and trespass.

prominently post ground rules. They should be clearly visible, and spell out the rules of legitimate activities on the property, as well as having the required posted legally approved signage for unauthorized access and trespass. Posted signs will be at least 18"x 24" consistent with *Broward County* regulations. No Trespassing signs must include all legal State Statute references and list the appropriate law enforcement agency.

As an important safety and security improvement, the consultant recommends additional prominently posted Surveillance Camera Notification signage. Consult with your legal representative for approval as to which type of sign will be chosen to post. Be cognizant that anything other than the text stating, or an image displaying a camera, that could be implying recording and storage, or 24-hour surveillance, should be avoided as it could result in a legal challenge in the event of a lawsuit.

Way-finding signage must be clear and prominently posted in appropriate areas indicating safe directional travel routes, to avoid users from getting confused and wandering into potentially unsafe and dangerous areas.

The value of legitimate activity support from having employees parking on the site around the clock serves as the strongest deterrent to crime on and around the property. The unobstructed lines of sight, and perimeter boundary definition will provide opportunities for employees to observe the environment around them and report suspicious or loitering activity.

Management and maintenance staff will also be present throughout the day, minding the property and keeping an eye out for any problems or dangers, such as dangerous persons loitering, trespassing, or vandalism.



Ground rules will be clearly visible, and spell out the rules of legitimate activities on the property. Legal “NO TRESPASS” and “NO LOITERING” and “THIS PROPERTY HAS 24 HR VIDEO SURVEILLANCE”, signage will be prominently posted prohibiting unauthorized access. Building ground rules and warning signage will be posted on the perimeter fencing, community common use spaces, mailbox area, bulletin board, and bike rack areas, etc.

Signage must exactly cite chapter and verse of the state law that is being enforced as demonstrated below. This type of signage will be prominently displayed throughout the site. It is recommended that additional legally-qualified posted warning trespass signage be added on the perimeter fencing/wall, and the entrances. The proposed no-trespass signs may be posted on the site perimeter every 100 feet, and within the parking lots. Trespassers cannot be legally arrested and successfully prosecuted if the notice is not properly worded and posted according to state statute requirements. The owner will submit a No Trespass Program Affidavit with the application the BSO.



Posting warning signage on the property is critical for establishing personal responsibility and management liability limits. There should be signage about the property being a gun-free zone, if that is possible.



The benches are clearly intended for seating only, not sleeping or loitering.

Any publicly accessible seating benches or platforms at *Colonial Van Lines Warehouse* should be designed with intermittent railings to deter loitering/ sleeping by vagrants/ trespassers. An example would be to incorporate individual seating on a bench, by including arm bars between designated single seating positions. Large horizontal platforms should incorporate an anti-loitering/ sleeping design feature.



Seating benches should have intermittent railings to deter persons sleeping on the benches.

Trail and walking amenities should be well defined, with CPTED bench seating with intermittent rails, and have trash containers close by, to facilitate disposal of litter and garbage. Any publicly accessible seating benches or platforms should be designed with intermittent railings to deter loitering/ sleeping by vagrants/ and trespassers. An example would be to incorporate individual seating on a bench by including arm bars between designated single seating positions. Large horizontal platforms should incorporate an anti-loitering/ sleeping design features like divots, or beveling.

Employees serve as capable guardians of the property when they have a sense of pride in ownership. When the property is well maintained and cared for by a quality management and staff team who demonstrate good work ethics, this sense of pride is instilled in the employees. Employees will willingly watch over the property and each other, and if there is any need they can and will call police for a quick response.

CPTED strategies for activity support include way-finding signage that must be clear and prominently posted in appropriate areas indicating safe directional travel routes, to avoid users from getting confused and wandering into potentially unsafe and dangerous areas.

**Emergency responder access** – Fire trucks will be able to access the east entrance. A Knox box will be provided to allow access to first responders and law enforcement for after-hours access, in the event of a call for service, and is shown on the plans on the sliding access vehicle gates.

Provide an Emergency Access Method System to Law Enforcement. Ensure that there is A Fire Rescue Knox Box located at an assigned designated point by the Fire Marshall.

This will assist in the event of a law enforcement/ or fire emergency such as a fire, sick or injured person, and or criminal incident inside the facility. To ensure unimpeded emergency access to Law Enforcement's Emergency Response, the entry access system must be able to dial 911 for emergency alert and access.



The CPTED goal is to catch, identify, and help resolve any potential landscaping and lighting conflicts to avoid existing or future conflicts, obstructions, and/or challenges to natural or mechanical surveillance, and landscaping and plantings. Maintenance staff must routinely check to ensure all surveillance cameras are strategically placed and in working order, so that they will not be obstructed by the growth of existing or installation of future landscaping.

#### **GENERAL PROPERTY NOTES:**

**Parking** – There is parking being designed for this site. Staff parking will occur in the *Colonial Van Lines* parking lot. All parking spaces shall be assigned and marked for authorized service personnel. Vehicles have been burglarized in parking lots, and can lead to significant property loss and the theft of personal identification which has resulted in identity theft fraud. Violent Robbery incidents, primarily in parking lots, have resulted in serious personal injuries and death to customers and employees, therefore no security surveillance camera coverage gaps can exist.

**Wi-Fi Systems** - If the building has a Wi-Fi system, then it needs to be *encrypted and password protected*. An open Wi-Fi system will attract non-legitimate users to loiter and use the open free Wi-Fi allowing hacking which can lead to crimes, such as fraud or hacking and phishing.

**Water Spickets** -All exterior water spigots should have a sturdy locking device, in order to prevent unauthorized users from using accessing and using the water, and/or hoses for inappropriate or illegitimate uses, such as vagrants bathing, non-resident car washing, etc.



Illustration example of a secure water service outlet. The locked water service prevents unauthorized use that otherwise if left unsecured it is recognized to attract nuisance and potentially criminal persons to the property.

**Exterior Electrical Outlets** - All exterior electrical service plugin outlets should have a sturdy locking device cover with a sturdy lock to prevent unauthorized use by illegitimate users

Zoom

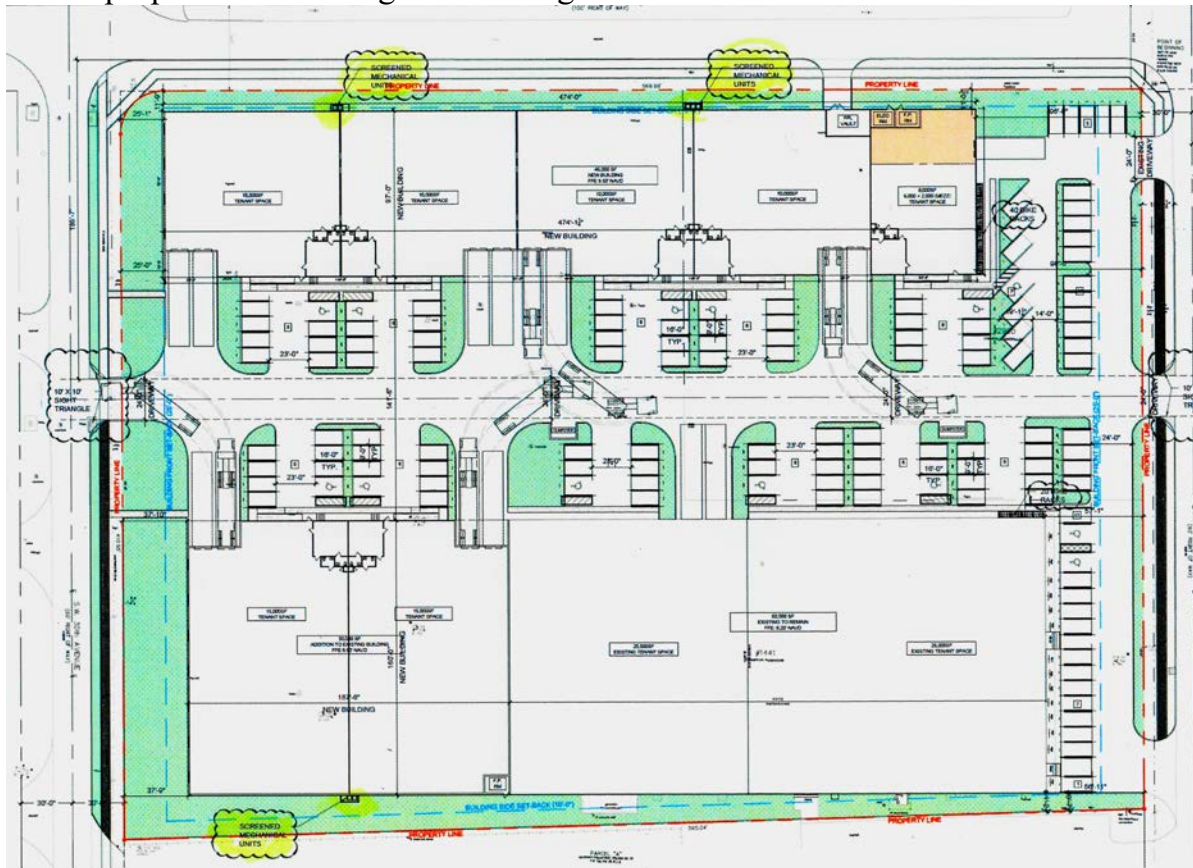


## Critical Infrastructure Considerations:

All utilities that extend into the property and that tie into the building exterior, should be considered vulnerable from a threat caused by the weather or persons, and therefore should be reasonably secured. Electric power boxes should have sturdy locks on them. Water main supply valves should be well-secured with chains, and not be easily accessible to the public or employees. Power lines should be inaccessible to any person other than a Utility company lineman. Mechanical and electrical rooms should be well-secured, and only accessible to building maintenance personnel. A Knox lockbox should be provided at the primary entrance to facilitate after-hour access by emergency personnel responding to a fire alarm. Cable boxes should be properly secured with no exposed wires, to prevent pirating cable theft or vandalism.

**Protecting Mechanical Equipment** – Fortunately, the A/C condensers and compressors are on the roof, and should not be accessible to the public. However, if the equipment were placed on the ground, then the compressors should be protected by screening, and robustly secured to the concrete pad. Lockable steel cages are an option, but other means such as a lockable sturdy metal wrapping bar are other options. Access control to roof access is critical to protect the assets of the mechanical equipment, and elevator control rooms, and other valuable equipment that might be located on the roof.

Mechanical and electrical rooms should have their exterior doors equipped with non-removable hinge pins and remain securely locked. Door closers will be on every door to ensure proper closer closing and latching of the locks.



**Interior Plant Considerations:**

All receptionists, and managers will have a silent duress panic alarm button under their desks to alert security or law enforcement if there is a potentially dangerous situation.

**Critical Infrastructure Considerations:**

All utilities that come into the property, and that tie into the building exterior, should be considered vulnerable from an attack by weather or persons, and should be reasonably secured. Power boxes should have locks on them. Water valves should be chained and not be easily accessible. Power lines should be inaccessible to any person, other than the FPL lineman. Mechanical and electrical rooms should be secured, and only accessible to building maintenance personnel. A Knox lockbox and click2enter should be provided on the primary entrance, to facilitate after hour access by emergency personnel responding to a fire alarm.

**Conclusion:**

I am very pleased to have had the opportunity to conduct a security and CPTED review of the *1441 SW 29th Ave., Colonial Van Warehouse* facility. It is my belief that the recommendations made will be adopted with a minimum of expense or disruption, to the operations. Having a safe living environment is to the benefit of the owners, visitors, and community. The *1441 SW 29th Ave.* warehouse facility, complies with the standards and practices of CPTED review process, and will be a valuable contribution to the City of Pompano Beach.

Respectfully yours,



Randy Atlas Ph.D., FAIA, CPP, CPTED, FCP  
CPTED Certified Practitioner and Instructor